



RFP Number: P-004439

Date of Issuance: September 25, 2014

Proposal Due Date: October 15, 2014

To Prospective Offerors:

The Philadelphia Housing Authority (“PHA” or the “Authority”) is hereby requesting proposals for:
Snow Removal Services at PAPMC Sites

The Philadelphia Housing Authority (PHA) is organized under the laws of the Commonwealth of Pennsylvania to develop, acquire, lease and operate low-rent housing programs. PHA is the largest housing agency in the Commonwealth, and the fourth largest in the Nation. The Authority has approximately 81,000 residents in 34 conventional developments, and about 5,500 scattered site units. Additionally, PHA currently administers over 16,000 Housing Choice Vouchers. PHA has an annual budget of approximately \$371 million, which is primarily funded by the U.S. Department of Housing and Urban Development. In April 2013, Kelvin Jeremiah was appointed President and CEO.

This procurement is being implemented in accordance with the CEA. Further, this procurement may be subject to the approval of the HUD representative acting for the Board of Commissioners as required by the CEA and the requirements of PHA’s Controlled Policy and Procedure Issuance No. 10, Procurement Policy.

Offerors must submit one (1) original and five (5) copies of their proposal, including the required proposal forms, as well as an electronic copy (on one or more CDs) in Microsoft Excel, Microsoft Word, and/or Portable Document Format (PDF) formats and the proposal shall be based upon and in conformity with this Request for Proposal. The proposal shall be enclosed in an envelope, which shall be sealed and clearly labeled with the name of the offeror, the RFP number, and the proposal due date. Proposals must be received by PHA Contracts Department at 3100 Penrose Ferry Road, Philadelphia, PA 19145, no later than 11:00 A.M. on proposal due date indicated above. Late proposals will not be considered. Proposals submitted via electronic mail will not be accepted. Photo identification is required for entrance into our facility.

Requests for additional information should be directed to the Contracting Officer’s representative, James B. Davis, Sourcing Manager-Procurement, Philadelphia Housing Authority, 3100 Penrose Ferry Road, Philadelphia, PA 19145, e-mail; Kevin.Denniston@pha.phila.gov, Fax (215) 684-1213. Note that inquiries received later than seven (7) days before receipt of proposals may not receive a response.

Sincerely,

KELVIN JEREMIAH
PRESIDENT & CEO
THE PHILADELPHIA HOUSING AUTHORITY

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Proposer Requirements	Proposal Reference	Completed (X)
7. Section 3 Program Forms - Section K <ul style="list-style-type: none"> <input type="checkbox"/> Form 1 - Existing Employee List <input type="checkbox"/> Form 2 - Hiring Plan <input type="checkbox"/> Form 3 - Hiring and Contracting Goals Narrative <input type="checkbox"/> Form 4 - Contracting Plan Worksheet <input type="checkbox"/> Form 5 - Subcontractor Activity (If Applicable) <input type="checkbox"/> Form 6 - Resident Affidavit (If requesting Section 3 Preference) <input type="checkbox"/> Form 7 - Section 3 Business Concerns (If requesting Section 3 Preference) <input type="checkbox"/> Form 10 - Utilization Plans (If Tier 3 is selected) 		<input type="checkbox"/>
8. Exceptions to PHA's Contract Terms and Conditions PHA will not consider any exceptions that are not submitted by bidder or offeror unless they are present at the time of bid or offer.		<input type="checkbox"/>
9. Evidence of Required Insurance or Ability to Obtain Insurance		<input type="checkbox"/>

A. INSTRUCTIONS TO OFFERORS

1. Preparation of Offers

- (a) Offerors are expected to examine the statement of work, the proposed contract terms and conditions, and all instructions. Failure to do so will be at the offeror's risk.
- (b) Each offeror shall furnish the information required by the solicitation as indicated in the Scope of Work and Mandatory Submissions Checklist, immediately preceding this Section A. The offeror shall sign the offer and print or type its name on the cover sheet and each continuation sheet on which it makes an entry. Erasures or other changes must be initialed by the person signing the offer. Offers signed by an agent shall be accompanied by evidence of that agent's authority, unless that evidence has been previously furnished to PHA.
- (c) Offers for services other than those specified will not be considered.
- (d) If this solicitation requires proposing on all items, failure to do so will result in the proposal being rejected. If proposing on all items is not required, proposers should insert the words "NO PROPOSAL" in the space provided for any item for which no price is submitted.

2. Amendments to Solicitations

- (a) If this solicitation is amended, then all terms and conditions which are not modified remain unchanged.
- (b) Offerors shall acknowledge receipt of any amendments to this solicitation by (1) signing and returning the amendment; (2) identifying the amendment number and date in the space provided for this purpose on the form for submitting an offer; (3) letter or telegram, or (4) facsimile, if facsimile offers are authorized in the solicitation. PHA must receive the acknowledgement by the time specified for receipt of offers.

3. Explanation to Prospective Offerors

Any prospective offeror desiring an explanation or interpretation of the solicitation, statement of work, etc. must request in writing soon enough to allow a reply to reach all prospective offerors before the submission of their offers. Oral explanations or instructions given before the award of the Contract will not be binding. Any information given to a prospective offeror concerning a solicitation will be furnished promptly to all other prospective offerors as an amendment of the solicitation, if that information is necessary in submitting offers or if the lack of it would be prejudicial to any other prospective offerors.

4. Responsibility of Prospective Contractor

- (a) PHA shall award a contract only to a responsible prospective contractor who is able to perform successfully under the terms and conditions of the proposed contract. To be determined responsible, a prospective contractor must -
 - (i) Have adequate financial resources to perform the Contract, or the ability to obtain them;
 - (ii) Have a satisfactory performance record;
 - (iii) Have a satisfactory record of integrity and business ethics;
 - (iv) Have a satisfactory record of compliance with public policy (e.g., Equal Employment Opportunity); and
 - (v) Not have been suspended, debarred, or otherwise determined to be ineligible for award of contracts by the Department of Housing and Urban Development or any other agency of the U.S. Government. Current lists of ineligible contractors are available for inspection at the PHA/HUD.
- (b) Before an offer is considered for award, the offeror may be requested by PHA to submit a statement or other documentation regarding any of the foregoing requirements. Failure by the offeror to provide such additional information may render the offeror ineligible for award.

5. Late Submissions, Modifications, and Withdrawal of Offers

- (a) Any offer received at the place designated in the solicitation after the exact time specified for receipt will not be considered unless it is received before award is made and it -
 - (i) Was sent by registered or certified mail not later than the fifth calendar day before the date specified for receipt of offers (e.g., an offer submitted in response to a solicitation requiring receipt of offers by the 20th of the month must have been mailed by the 15th);
 - (ii) Was sent by mail, or if authorized by the solicitation, was sent by telegram or via facsimile, and it is determined by the PHA that the late receipt was due solely to mishandling by PHA after receipt at PHA;
 - (iii) Was sent by U.S. Postal Service Express Mail Next Day Service - Post Office to Addressee, not later than 5:00 p.m. at the place of mailing two working days prior to the date

specified for receipt of proposals. The term “working days” excludes weekends and U.S. Federal holidays; or

- (iv) Is the only offer received.
- (b) Any modification of an offer, except a modification resulting from PHA’s request for “best and final” offer, is subject to the same conditions as in subparagraphs (a)(1), (2), and (3) of this provision.
- (c) A modification resulting from PHA’s request for “best and final” offer received after the time and date specified in the request will not be considered unless received before award and the late receipt is due solely to mishandling by PHA after receipt at PHA.
- (d) The only acceptable evidence to establish the date of mailing of a late offer, modification, or withdrawal sent either by registered or certified mail is the U.S. or Canadian Postal Service postmark both on the envelope or wrapper and on the original receipt from the U.S. or Canadian Postal Service. Both postmarks must show a legible date or the offer, modification, or withdrawal shall be processed as if mailed late. “Postmark” means a printed, stamped, or otherwise placed impression (exclusive of a postage meter machine impression) that is readily identifiable without further action as having been supplied and affixed by employees of the U.S. or Canadian Postal Service on the date of mailing. Therefore, offerors should request the postal clerk to place a hand cancellation bull’s-eye postmark on both the receipt and the envelope or wrapper.
- (e) The only acceptable evidence to establish the time of receipt at PHA is the time/date stamp of PHA on the offer wrapper or other documentary evidence of receipt maintained by PHA.
- (f) The only acceptable evidence to establish the date of mailing of a late offer, modification, or withdrawal sent by Express Mail Next Day Service-Post Office to Addressee is the date entered by the post office receiving clerk on the “Express Mail Next Day Service-Post Office to Addressee” label and the postmark on both the envelope or wrapper and on the original receipt from the U.S. Postal Service. “Postmark” has the same meaning as defined in paragraph (c) of this provision, excluding postmarks of the Canadian Postal Service. Therefore, offerors should request the postal clerk to place a legible hand cancellation bull’s-eye postmark on both the receipt and the envelope or wrapper.
- (g) Notwithstanding paragraph (a) of this provision, a late modification of an otherwise successful offer that makes its terms more favorable to PHA will be considered at any time it is received and may be accepted.

- (h) Proposals may be withdrawn by written notice, or if authorized by this solicitation, by telegram (including mailgram) or facsimile machine transmission received at any time before award. Proposals may be withdrawn in person by an offeror or its authorized representative if the identity of the person requesting withdrawal is established and the person signs a receipt for the offer before award.

6. Contract Award

- (a) PHA will award a contract resulting from this solicitation to the responsible offeror whose offer conforming to the solicitation will be most advantageous to PHA, cost or price and other factors, specified elsewhere in this solicitation, considered.
- (b) PHA may (1) reject any or all offers if such action is in PHA's interest, (2) accept other than the lowest offer, (3) waive informalities and minor irregularities in offers received, and (4) award more than one contract for all or part of the requirements stated.
- (c) PHA may award a contract on the basis of initial offers received, without discussions. Therefore, each initial offer should contain the offeror's best terms from a cost or price and technical standpoint.
- (d) A written award or acceptance of offer mailed or otherwise furnished to the successful offeror within the time for acceptance specified in the offer shall result in a binding contract without further action by either party. Before the offer's specified expiration time, PHA may accept an offer, whether or not there are negotiations after its receipt, unless a written notice of withdrawal is received before award. Negotiations conducted after receipt of an offer do not constitute a rejection or counteroffer by PHA.
- (e) Neither financial data submitted with an offer, nor representations concerning facilities or financing, will form a part of the resulting contract.

7. Service of Protest

- (a) Any protest against the award of a contract pursuant to this solicitation shall be served on PHA by obtaining written and dated acknowledgement of receipt from PHA at PHA Contracts Department, 3100 Penrose Ferry Road, Philadelphia, PA 19145. The determination of PHA with regard to such protest or to proceed to award notwithstanding such protest shall be final unless appealed by the protester.
- (b) An actual or prospective offeror who is aggrieved in connection with the solicitation or award of a contract may submit a protest. Protests based on the contents of the solicitation must be submitted prior to the date and time

for receipt of proposals. Protests based on contract award must be made within seven days after the protestor knows or should have known the facts giving rise to the protest.

- (c) All protests shall be resolved in accordance with PHA's protest policy and procedures, copies of which are maintained at PHA.

8. Offer Submission

- (a) Offers and modifications thereof shall be submitted in sealed envelopes or packages (1) addressed to PHA Contracts Department, 3100 Penrose Ferry Road, Philadelphia, PA 19145, and (2) showing (on the face of the envelope) the time specified for receipt, the solicitation number, and the name and address of the offeror. One original hard copy, five (5) hardcopies, and one electronic copy of the Offer and modifications, including the required proposal forms, shall be submitted (on one or more CDs) in Microsoft Excel, Microsoft Word, and/or Portable Document Format (PDF) formats
- (b) Telegraphic, e-mail, or facsimile offers, modifications, or withdrawals will not be considered unless authorized by the solicitation.
- (c) It is very important that the offer be properly identified on the face of the envelope as set forth above in order to insure that the date and time of receipt is stamped on the face of the offer envelope. Receiving procedures are: date and time stamp those envelopes identified as proposals and deliver them immediately to the appropriate contracting official, and only date stamp those envelopes which do not contain identification of the contents and deliver them to the appropriate procuring activity only through the routine mail delivery procedure.
- (d) To be considered for award, offers must include the following mandatory submissions:
 - Proposal Form (Section H)
 - Technical Proposal (Per SOW)
 - Certifications and Representations (Section I)
 - Affirmative Action Forms (Section J)
 - Section Three Forms (Section K)
 - Proposal Security (if required)
 - Electronic Copy

9. Pre-Proposal Conference

A mandatory non-mandatory pre-proposal conference/meeting will be held at TBD on TBD at TBD

B. SERVICE CONTRACT
FOR THE PROVISION OF

PART I – AGREEMENT

THIS AGREEMENT, made and entered into as of _____, 2014 by and between the PHILADELPHIA HOUSING AUTHORITY, a body corporate and politic created under the laws of the Commonwealth of Pennsylvania (“PHA”), whose address is 12 S. 23rd Street, Philadelphia, PA 19103 and _____ (“Contractor”), a company, organized and existing under the laws of _____, whose address is _____.

WITNESSETH:

WHEREAS, PHA desires to retain the services of Contractor and Contractor desires to provide such services to PHA; and

WHEREAS, by Resolution No. _____, adopted on _____, 2013, the Administrative Receiver is authorized to conclude and execute a contract.

NOW THEREFORE, in consideration of the mutual covenants set forth herein, the parties agree as follows:

1. SERVICE TO BE PERFORMED.

A. Contractor agrees to perform the services described in the Solicitation No. P-0044xx, known as Snow Removal Services at PAPMC Sites and Contractor’s proposal, both made part of this Agreement.

2. TERM.

This Agreement shall be for an initial two-year base period which will commence on _____, 2014, and will continue until _____, 2016, unless work is completed or terminated earlier by PHA pursuant to this Agreement. PHA will have the right to extend the Agreement for three (3) one-year option periods. If such options are exercised, then the contract will continue until _____, 2019.

3. COMPENSATION.

PHA will pay Contractor at the rates set forth in Attachment A for each period as set forth therein with total payment not to exceed _____ for the five (5) year term of this Contract. Payment for the two (2) year base shall not exceed _____. Payment for the first option period shall not exceed _____. Payment for the second option period shall not exceed _____. Payment for the third option

period shall not exceed _____. Such payment will be made monthly and upon receipt and approval of an itemized invoice, as set forth in Section 2 of the PHA General Terms and Conditions of this Agreement, including but not limited to the use of Electronic Funds transfer through the Automated Clearing House, at the option of PHA.

4. COMPLIANCE WITH APPLICABLE STATUTES, ORDINANCES AND REGULATIONS

Contractor shall comply with all applicable Federal, State, county and city statutes, ordinances and regulations, including those pertaining to wages, hours and conditions of employment.

5. NON-DISCLOSURE.

During the term of this Contract and thereafter, except with the prior written consent of PHA, Contractor will not: issue, publish or divulge any materials developed or used in the performance of the services under this contract in any public statement, thesis, writing, lecture or other verbal communication; or disclose or use confidential information of any nature acquired from PHA or acquired as a result of Contractor's activities in connection with this Contract. If Contractor is required by law to disclose any such confidential information, Contractor shall provide PHA with prior written notice of such required disclosure and provide PHA the opportunity to object to the disclosure and to seek appropriate relief. If PHA elects to object to the disclosure, Contractor will cooperate assist in the efforts to object and seek appropriate relief.

6. GOVERNING LAW.

This Agreement shall be governed by the laws of Commonwealth of Pennsylvania, and all actions hereunder shall be brought in Pennsylvania.

7. CONTRACT COMPOSITION.

The following documents are hereby incorporated by reference, and constitute the Contract. Contractor acknowledges receipt of all listed documents. If there is any conflict between the documents of this Contract, then the following order of precedence shall govern:

Services Contract;

HUD Standard Terms & Conditions;

Statement of Work;

PHA Special Terms & Conditions;

PHA Standard Terms & Conditions

Solicitation Number P-0044 dated September XX, 2014, and entitled Snow Removal Services at Various PHA Administrative Sites;

Contractor's proposal and Best and Final Offer (if requested) as accepted by the PHA;

Affirmative Action requirements;

Instructions to Proposers;

Representations and Certifications, and other statements to Proposers.

8. PRIOR AGREEMENT SUPERSEDED.

This Agreement constitutes the sole Agreement of the parties and supersedes any prior understandings or written or oral agreements between the parties respecting the within subject matter.

IN WITNESS WHEREOF, each of the parties hereto has caused this Agreement to be duly executed as of the date first above written.

CONTRACTOR

WITNESS:

BY: _____

Name: _____

(AUTHORIZED REPRESENTATIVE)

WITNESS:
AUTHORITY

PHILADELPHIA HOUSING

BY: _____

Name: _____

CONTRACTING OFFICER

C. SCOPE OF WORK
FOR
SNOW REMOVAL SERVICES AT PAPMC SITES
SOLICITATION NUMBER P-004439

I. PURPOSE

Philadelphia Asset and Property Management Corporation, affiliate of the Philadelphia Housing Authority (PHA), is inviting contractors with demonstrated experience to provide snow and ice removal services to various PAPMC locations throughout the City of Philadelphia. The selected Contractor will be required to provide PAPMC with comprehensive professional snow and ice removal, and will provide all management, personnel, materials, equipment, and transportation necessary to provide services to the locations listed. Other locations, not listed below, may be added during the term of the contract.

II. PROPOSAL EVALUATION CRITERIA

A. Information submitted shall include but not be limited to:

- i. Profile and Qualifications. Submit a profile of the company identifying its principals, primary services provided, areas of specialty and capabilities of professional and support staff. Submit the resumes and qualifications of all members of the business and of any subcontractors that will perform work pursuant to this RFP.
- ii. Licenses: Submit a copy of pertinent licenses authorizing the proposer to perform the work pursuant to this RFP (copies of licenses are to be submitted as a requirement of this RFP).
- iii. Statement of the Problem and Work Plan. State in concise terms your understanding of the requirements presented in this RFP.
- iv. References. Submit at least three (3) client references, including names, addresses and telephone numbers, dates, types and extent of work that was performed. Included in this request for proposal is a survey for Past Performance, this must be completed by your respective references. Please have them complete and return the form to you in a sealed envelope. All surveys must be completed and submitted with your proposals, per Section H.
- v. Equipment List: Proposers **must** provide a current inventory listing of all snow-removal vehicles and equipment owned by their company or owned by any sub-contractors that will perform work for the pursuant to this RFP.

vi. Additional Information.

- Any other information that may be helpful to PHA in evaluating the proposer's qualifications, including but not limited to any particular expertise and knowledge the proposer may have in reference to this RFP.

B. MINIMUM REQUIREMENTS

- i. Proposers must meet all of the requirements set forth in Section IV of this statement of work;
- ii. Proposers, their partners, agents, staff members and subcontractors, et al, must be properly licensed in accordance with the laws of the Commonwealth of Pennsylvania;
- iii. Proposers must have performed similar professional work as set forth in this RFP;
- iv. Proposers shall indicate availability to perform the work to be assigned by PHA;
- v. Proposer must have access to all necessary equipment and have the organizational capacity and technical competence necessary to do the work properly and expeditiously.

III. STATEMENT OF WORK

- A. Snow removal services shall include snow plowing, removal and disposal of snow (if necessary), removal of ice and ice build-up, applications of salt or calcium chloride as needed to maintain bare pavement as weather will permit, and ensuring proper and safe access to the buildings and parking areas specified in this RFP as directed by PHA's Vice President, Logistics, Fleet & Facilities Management.
- B. Prior to the first snowfall, to avoid the possibility of damaging curbing, shrubs, manholes, fencing, guard rails, electrical junction boxes, and any other areas that are susceptible to damage because they are easily concealed by snowfall, shall be staked out by the awarded Contractor. The snow is to be pushed back in accordance with instructions to be supplied by PHA's Facilities Manager. The Contractor shall not commence work until a brief pre-performance meeting is held at each location to ensure the proper areas to be cleaned are indicated. This meeting shall be arranged by PHA.
- C. Snow removal or application of snow-melting compounds will only commence upon the written direction of PHA's Vice President, Logistics, Fleet & Facilities Management or his/her designee as appointed in writing.
- D. All services are to commence at a time specified via email by PHA's Vice President, Logistics, Fleet & Facilities Management and should continue as

necessary to ensure that specified areas are cleared of all snow or ice and will remain cleared until a subsequent weather event occurs. The work performed should take into account the current conditions and conditions in the forecasted future. For example, the contractor would be expected to apply extra snow melting compound and position the piled snow near drains if melting and re-freezing were expected in the next few days.

- E. Any instance in which more than one snow melt application is required for one snow occurrence, PHA should only be billed for the initial occurrence.
- F. Snow is to be cleared from all entrances, exits, walkways, and all parking areas, at each location. Specific areas to be cleared will be outlined at each property during the site tours, as well as the pre-performance meetings.
- G. To eliminate ice build-up at any of the locations, PHA is requiring that the awarded Contractor properly treat all surfaces with salt or a proper ice melt substance, and if needed, scrape problem areas, after every ice and/or snow storm. Surfaces are to be treated whenever slippery, and/or icy conditions warrant, and whenever it is requested by PHA.
- H. **SALT IS NOT TO BE USED ON ANY CONCRETE SURFACES.** An approved ice melt or other substitute must be used. This will eliminate any damage to the concrete surfaces and reduced the awarded Contractor's liability for repairs.
- I. The awarded Contractor is responsible for removing snow and/or ice from all indicated sidewalk areas, and shall maintain a bare pavement policy on these areas. Mechanical methods may be used to remove snow and/or ice from all sidewalk areas, including but not limited to power brooms, snow throwers, snow blowers, salt spreaders, etc.
- J. Storage of salt and any ice melt product is the responsibility of the awarded Contractor and shall not be stored on any PHA property unless approved by the Facilities Manager in writing.
- K. The awarded Contractor shall furnish all trucks, plows, front-end loaders, salt/ice melt spreaders, and any other equipment needed as specified herein suitable for snow plowing, snow removal, ice removal, and salting. The awarded Contractor shall furnish with each separate piece of equipment, capable licensed drivers in sufficient numbers so as to operate the equipment efficiently. They shall also furnish additional drivers to relieve the regular drivers when extended periods of work are required.
- L. The equipment must be in proper mechanical conditions, and fully equipped as required, for efficient operation; must be properly registered and insured in accordance with the laws of the State of Pennsylvania; and be equipped with accessories as required to meet the existing traffic conditions.
- M. The awarded Contractor must provide a list of all upper level management contact persons, who can be contacted in the event that services are needed. These contacts must be available 24 hours per day, seven days per week, including holidays, in the event that snow removal services are needed in an emergency event.
- N. The awarded Contractor shall employ only competent people to do the work, and whenever the Contracting Officer shall notify the Contractor that any working

person, in their opinion, is incompetent, unfaithful, disorderly, or otherwise unsatisfactory, such person shall be replaced and shall not be employed again except with the consent of PHA.

- O. PHA reserves the right to hire equipment other than the awarded Contractor if the Contractor's equipment does not report ready for service within one (1) hour of the time ordered. When such equipment, other than the Contractor's, is employed, any expense incurred above the Contract price shall be borne by the awarded Contractor and such additional expense shall be deducted from any money due the Contractor.
- P. Successful completion of services will be reported via email to the Vice President, Logistics, Fleet & Facilities Management within one hour of completion of services. Upon inspection of the work completed, PHA's Facilities Manager will determine if the work has been completed satisfactorily. If the PHA Facilities Manager determines that the work or any portion thereof is unsatisfactory, the Contractor will be required to cure the failure, at no additional cost to PHA, within two hours of email notification and instructions.
- Q. Unsatisfactory response to any or all of the listed services or requirements in this RFP can be a basis for immediate termination of the contract.
- R. All invoices must provide detail as to the snow accumulation at the time of service, dates and time work was conducted, Upon request, Contractor should be prepared to provide information in support of the invoice including personnel including time sheets and payroll records), any subcontractors used and materials and/or equipment used.

IV. CODES AND STANDARDS

- A. All work is to be performed in accordance with any and all City, County, and State laws and regulations.
- B. The Contractor shall carry out the requirements of this contract with such care and methods as not to result in damage to public or private property. Should any public or private property be damaged or destroyed as a result of the Contractor's work, the Contractor, at his/her expense, shall repair or make restoration as is practical and acceptable to PHA and/or owners of destroyed or damaged property promptly and within a reasonable length of time (not to exceed ten (10) days from the date the damage is reported).

V. SITE INFORMATION / PRE-BID SITE TOURS

Attached to this solicitation as Exhibit A, you will find a listing of all the sites, with the main address for each.

VI. PRICING

Bidders are being asked to supply an all-inclusive, firm-fixed price, per site, based on clearing different amounts (per inch) of snow accumulation, (including returning for ice removal services between weather events) or "salting only" This price should include all

costs associated with the administration of this contract, to include, but not limited to, all labor, materials, supervision, equipment, transportation, etc. For invoicing purposes, the number of inches fallen will be determined by accessing the Franklin Institute's Weather Data for Philadelphia website at <http://www.fi.edu/weather/data>.

VII. SITE ACCESS

- a. The Contractor shall establish and maintain an effective email and telephonic communication system with the Facilities Manager and the Vice President, Logistics, Fleet & Facilities Management.
- b. PHA shall facilitate the Contractor's Services by providing access cards to the specified premises.

VIII. Discounted Payments

- a. PHA will apply a 2% discount on all invoices paid within 15 days after receipt of an acceptable invoice or full amount if paid after 15 but within 30 days.

IX. PROPOSAL REQUIREMENTS

A. Mandatory Submission Checklist: Upon completion of all the required submittals, contractors are required to complete the Mandatory Submission Checklist and submit with their respective proposals.

B. State your understanding of the services that PHA requires and give a detailed account of how you will provide the services. This section should include responses to the evaluation criteria set forth above in Section II.

C. Submit copies of business licenses.

D. Cost proposal shall be submitted on the forms provided in Section H. Past Performance Survey to be completed and return with submitted proposals.

E. Submit a listing of the equipment that your company will utilize in the performance of this contract, to include makes, models, years, etc. of the equipment.

F. Section I of this solicitation package.

G. Submit Section J of this solicitation package. Include a narrative on how the firm intends to meet the Affirmative Action goals. Indicate "N/A" on pages Not Applicable.

H. Submit Section K of this solicitation package. Include a narrative on how the firm intends to meet the Section 3 goals. Indicate "N/A" on pages Not Applicable.

J. Inquiries concerning the solicitation should be submitted in writing to the issuing office:

Kevin Denniston
Philadelphia Housing Authority
3100 Penrose Ferry Road
Philadelphia, PA 19145
(Fax) 215-684-1213
(Email) Kevin.Denniston@pha.phila.gov

Contractors submitting proposals are specifically instructed to contact only the solicitation issuing office in connection with any aspect of the solicitation. Proposals and all correspondence relating to the solicitation document must be submitted to the issuing office in writing.

Limited Partnerships by Street Address

LP	Unit #	Address	Apt.	PIS	Bin #
MSVLP	156007	610 Budd Street	A	01/28/08	PA06-01105
MSVLP	156008	610 Budd Street	B	01/28/08	PA06-01105
MSVLP	156009	611 Budd Street	A	01/03/08	PA06-02105
MSVLP	156010	611 Budd Street	B	01/03/08	PA06-02105
MSVLP	156011	612 Budd Street	-	01/28/08	PA06-01105
MSVLP	156001	613 41st Street	A	12/17/07	PA06-06105
MSVLP	156002	613 41st Street	B	12/17/07	PA06-06105
MSVLP	156012	613 Budd Street	-	01/03/08	PA06-02105
MSVLP	156013	614 Budd Street	-	01/28/08	PA06-01105
MTOLP	138354	614 Hollymall	A	09/23/04	PA02-04303
MTOLP	138355	614 Hollymall	B	09/23/04	PA02-04303
MTOLP	138356	614 Hollymall	C	09/23/04	PA02-04303
MTOLP	138357	614 Hollymall	D	09/23/04	PA02-04303
MTOLP	138316	614 N. 41 Street	A	11/30/04	PA02-03303
MTOLP	138318	614 N. 41 Street	C	11/30/04	PA02-03303
MTOLP	138319	614 N. 41 Street	D	11/30/04	PA02-03303
MTOLP	138317	614 N. 41 Street	B	11/30/04	PA02-03303
MSVLP	156057	614 Preston Street	-	01/31/08	PA06-07105
MSVLP	156003	615 41st Street	A	01/03/08	PA06-02105
MSVLP	156004	615 41st Street	B	12/17/07	PA06-06105
MSVLP	156014	615 Budd Street	-	12/17/07	PA06-06105
MTOLP	138326	615 Hollymall	A	11/30/04	PA02-03303
MTOLP	138327	615 Hollymall	B	11/30/04	PA02-03303
MTOLP	138328	615 Hollymall	C	11/30/04	PA02-03303
MTOLP	138329	615 Hollymall	D	11/30/04	PA02-03303
MTOLP	138330	615 Hollymall	E	11/30/04	PA02-03303
MTOLP	138364	615 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138365	615 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138366	615 N. 42 Street	C	09/23/04	PA02-04303
MTOLP	138367	615 N. 42 Street	D	09/23/04	PA02-04303
MTOLP	138368	615 N. 42 Street	E	09/23/04	PA02-04303
MSVLP	156015	616 Budd Street	-	01/28/08	PA06-01105
MSVLP	156058	616 Preston Street	-	01/31/08	PA06-07105
MSVLP	156016	617 Budd Street	-	01/03/08	PA06-02105
MSVLP	156059	617 Preston Street	-	01/31/08	PA06-10105
MSVLP	156017	618 Budd Street	A	01/28/08	PA06-01105
MSVLP	156018	618 Budd Street	B	01/28/08	PA06-01105
MTOLP	138350	618 Hollymall	A	09/23/04	PA02-04303
MTOLP	138351	618 Hollymall	B	09/23/04	PA02-04303
MTOLP	138352	618 Hollymall	C	09/23/04	PA02-04303
MTOLP	138353	618 Hollymall	D	09/23/04	PA02-04303
MTOLP	138312	618 N. 41 Street	A	11/30/04	PA02-03303
MTOLP	138313	618 N. 41 Street	B	11/30/04	PA02-03303
MTOLP	138314	618 N. 41 Street	C	11/30/04	PA02-03303
MTOLP	138315	618 N. 41 Street	D	11/30/04	PA02-03303
MSVLP	156060	618 Preston Street	-	01/31/08	PA06-07105
MSVLP	156019	619 Budd Street	-	01/03/08	PA06-02105
MTOLP	138331	619 Hollymall	A	11/30/04	PA02-03303
MTOLP	138332	619 Hollymall	B	11/30/04	PA02-03303
MTOLP	138333	619 Hollymall	C	11/30/04	PA02-03303
MTOLP	138369	619 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138370	619 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138371	619 N. 42 Street	C	09/23/04	PA02-04303

MSVLP	156061	619 Preston Street	-	01/31/08	PA06-10105
MSVLP	16062	620 Preston Street	-	01/31/08	PA06-07105
MSVLP	156020	621 Budd Street	A	01/03/08	PA06-02105
MSVLP	156021	621 Budd Street	B	01/03/08	PA06-02105
MTOLP	138347	622 Hollymall	A	09/23/04	PA02-04303
MTOLP	138348	622 Hollymall	B	09/23/04	PA02-04303
MTOLP	138349	622 Hollymall	C	09/23/04	PA02-04303
MTOLP	138310	622 N. 41 Street	B	11/30/04	PA02-03303
MTOLP	138311	622 N.41 Street	C	11/30/04	PA02-03303
MTOLP	138309	622 N.41 Street	A	11/30/04	PA02-03303
MTOLP	138334	623 Hollymall	A	11/30/04	PA02-03303
MTOLP	138335	623 Hollymall	B	11/30/04	PA02-03303
MTOLP	138336	623 Hollymall	C	11/30/04	PA02-03303
MTOLP	138372	623 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138373	623 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138374	623 N. 42 Street	C	09/23/04	PA02-04303
MSVLP	156063	625 Preston Street	-	01/28/08	PA06-09105
MTOLP	138342	626 Hollymall	A	09/23/04	PA02-04303
MTOLP	138343	626 Hollymall	B	09/23/04	PA02-04303
MTOLP	138344	626 Hollymall	C	09/23/04	PA02-04303
MTOLP	138345	626 Hollymall	D	09/23/04	PA02-04303
MTOLP	138346	626 Hollymall	E	09/23/04	PA02-04303
MTOLP	138308	626 N. 41 Street	E	11/30/04	PA02-03303
MTOLP	138306	626 N. 41 Street	C	11/30/04	PA02-03303
MTOLP	138304	626 N.41 Street	A	11/30/04	PA02-03303
MTOLP	138305	626 N.41 Street	B	11/30/04	PA02-03303
MTOLP	138307	626 N.41 Street	D	11/30/04	PA02-03303
MTOLP	138337	627 Hollymall	A	11/30/04	PA02-03303
MTOLP	138338	627 Hollymall	B	11/30/04	PA02-03303
MTOLP	138339	627 Hollymall	C	11/30/04	PA02-03303
MTOLP	138340	627 Hollymall	D	11/30/04	PA02-03303
MTOLP	138341	627 Hollymall	E	11/30/04	PA02-03303
MTOLP	138375	627 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138376	627 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138377	627 N. 42 Street	C	09/23/04	PA02-04303
MTOLP	138378	627 N. 42 Street	D	09/23/04	PA02-04303
MTOLP	138379	627 N. 42 Street	E	09/23/04	PA02-04303
MSVLP	156064	627 Preston Street	-	01/28/08	PA06-09105
LLSS3	157026	633 Oxford Street	-	12/10/07	PA06-21419
MSVLP	Office	634 Preston Street	A	02/13/08	PA06-08105
MSVLP	156065	634 Preston Street	B	02/13/08	PA06-08105
MALP2	164050	635 36th Street			
MSVLP	156005	635 41st Street	A	01/03/08	PA06-11105
MSVLP	156006	635 41st Street	B	01/03/08	PA06-11105
LLSS3	157025	635 Oxford Street	-	12/10/07	PA06-21419
MALP2	164051	637 36th Street			
LLSS3	157024	637 Oxford Street	-	12/10/07	PA06-21419
MALP1	143046	638 36th Street	A		
MALP1	163047	638 36th Street	B		
MALP2	164048	645 35th Street			
MALP1	163028	645 36th Street	A		
MALP1	163029	645 36th Street	B		
MALP1	163030	645 36th Street	C		
MALP2	164049	647 35th Street			
MALP1	163031	647 36th Street	A		

MALP1	163032	647 36th Street	B		
MALP2	164030	648 35th Street	A		
MALP2	164031	648 35th Street	B		
MALP2	164032	648 35th Street	C		
MALP1	163033	649 36th Street	A		
MALP1	163034	649 36th Street	B		
MALP2	164033	650 35th Street	A		
MALP2	164034	650 35th Street	B		
MALP1	163035	651 36th Street	A		
MALP1	163036	651 36th Street	B		
MALP2	164035	652 35th Street	A		
MALP2	164036	652 35th Street	B		
MALP1	163037	653 36th Street	A		
MALP1	163038	653 36th Street	B		
MALP2	164037	654 35th Street	A		
MALP2	164038	654 35th Street	B		
MALP1	163039	655 36th Street	A		
MALP1	163040	655 36th Street	B		
MALP2	164039	656 35th Street	A		
MALP2	164040	656 35th Street	B		
MALP1	163041	657 36th Street	A		
MALP1	163042	657 36th Street	B		
MALP2	164041	658 35th Street	A		
MALP2	164042	658 35th Street	B		
MTOLP	138254	658 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138255	658 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138256	658 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138257	658 N. 41 Street	D	12/31/03	PA02-01303
MALP1	163043	659 36th Street	A		
MALP1	163044	659 36th Street	B		
MALP1	143045	659 36th Street	C		
MTOLP	138219	659 Hollymall	A	12/31/03	PA02-01303
MTOLP	138220	659 Hollymall	B	12/31/03	PA02-01303
MTOLP	138221	659 Hollymall	C	12/31/03	PA02-01303
MTOLP	138222	659 Hollymall	D	12/31/03	PA02-01303
MALP2	164043	660 35th Street	A		
MALP2	164044	660 35th Street	B		
MTOLP	138300	660 Hollymall	A	12/31/03	PA02-02303
MTOLP	138301	660 Hollymall	B	12/31/03	PA02-02303
MTOLP	138302	660 Hollymall	C	12/31/03	PA02-02303
MTOLP	138303	660 Hollymall	D	12/31/03	PA02-02303
MTOLP	138258	661 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138259	661 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138260	661 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138261	661 N. 42 Street	D	12/31/03	PA02-02303
MALP2	164045	662 35th Street	A		
MALP2	164046	662 35th Street	B		
MALP2	164047	662 35th Street	C		
MTOLP	138250	662 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138251	662 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138252	662 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138253	662 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138223	663 Hollymall	A	12/31/03	PA02-01303
MTOLP	138224	663 Hollymall	B	12/31/03	PA02-01303
MTOLP	138225	663 Hollymall	C	12/31/03	PA02-01303

MTOLP	138226	663 Hollymall	D	12/31/03	PA02-01303
MTOLP	138297	664 Hollymall	A	12/31/03	PA02-02303
MTOLP	138298	664 Hollymall	B	12/31/03	PA02-02303
MTOLP	138299	664 Hollymall	C	12/31/03	PA02-02303
MTOLP	138262	665 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138263	665 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138264	665 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138246	666 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138247	666 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138248	666 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138249	666 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138227	667 Hollymall	A	12/31/03	PA02-01303
MTOLP	138228	667 Hollymall	B	12/31/03	PA02-01303
MTOLP	138229	667 Hollymall	C	12/31/03	PA02-01303
MTOLP	138293	668 Hollymall	A	12/31/03	PA02-02303
MTOLP	138294	668 Hollymall	B	12/31/03	PA02-02303
MTOLP	138295	668 Hollymall	C	12/31/03	PA02-02303
MTOLP	138296	668 Hollymall	D	12/31/03	PA02-02303
MTOLP	138265	669 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138266	669 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138267	669 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138268	669 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138242	670 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138243	670 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138244	670 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138245	670 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138230	671 Hollymall	A	12/31/03	PA02-01303
MTOLP	138231	671 Hollymall	B	12/31/03	PA02-01303
MTOLP	138232	671 Hollymall	C	12/31/03	PA02-01303
MTOLP	138233	671 Hollymall	D	12/31/03	PA02-01303
MTOLP	138234	671 Hollymall	E	12/31/03	PA02-01303
MTOLP	138235	671 Hollymall	F	12/31/03	PA02-01303
MTOLP	138289	672 Hollymall	A	12/31/03	PA02-02303
MTOLP	138290	672 Hollymall	B	12/31/03	PA02-02303
MTOLP	138291	672 Hollymall	C	12/31/03	PA02-02303
MTOLP	138292	672 Hollymall	D	12/31/03	PA02-02303
MTOLP	138269	673 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138270	673 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138271	673 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138272	673 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138284	676 Hollymall	A	12/31/03	PA02-02303
MTOLP	138285	676 Hollymall	B	12/31/03	PA02-02303
MTOLP	138286	676 Hollymall	C	12/31/03	PA02-02303
MTOLP	138287	676 Hollymall	D	12/31/03	PA02-02303
MTOLP	138288	676 Hollymall	E	12/31/03	PA02-02303
MTOLP	138273	677 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138274	677 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138275	677 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138276	677 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138277	677 N. 42 Street	E	12/31/03	PA02-02303
RALP3	133070	700 N. 10th Street	A	05/16/03	PA01-37102
RALP3	133071	700 N. 10th Street	B	05/16/03	PA01-37102
RALP3	133031	700 N. 11th Street	-	08/01/03	PA01-17102
MCLP1	145055	700 N. 46th Street	A	12/31/04	PA03-09407
MCLP1	145056	700 N. 46th Street	B	12/31/04	PA03-09407

MCLP1	145057	700 N. 46th Street	C	12/31/04	PA03-09407
RALP3	133014	700 N. Marvine Street	A	06/10/03	PA01-08102
RALP3	133015	700 N. Marvine Street	B	06/10/03	PA01-08102
RALP3	133050	700 N. Warnock Street	A	04/25/03	PA01-27102
RALP3	133051	700 N. Warnock Street	B	04/25/03	PA01-27102
RALP3	133032	701 N. 11th Street	A	05/23/03	PA01-18102
RALP3	133033	701 N. 11th Street	B	05/23/03	PA01-18102
RALP3	133001	701 N. 12th Street	A	06/10/03	PA01-01102
RALP3	133002	701 N. 12th Street	B	06/10/03	PA01-01102
MCLP1	145079	701 N. 46th Street	B	01/31/05	PA03-14407
MCLP1	145080	701 N. 46th Street	C	01/31/05	PA03-14407
RALP3	133016	701 N. Marvine Street	A	06/10/03	PA01-09102
RALP3	133017	701 N. Marvine Street	B	06/10/03	PA01-09102
RALP3	133052	701 N. Warnock Street	A	03/27/03	PA01-28102
RALP3	133053	701 N. Warnock Street	B	03/27/03	PA01-28102
MCLP1	145078	701 N.46th Street	A	01/31/05	PA03-14407
RALP3	133069	702 N. 10th Street	-	05/16/03	PA01-36102
RALP3	133030	702 N. 11th Street	-	06/10/03	PA01-16102
RALP3	133013	702 N. Marvine Street	-	06/10/03	PA01-07102
RALP3	133049	702 N. Warnock Street	-	04/25/03	PA01-26102
RALP3	133034	703 N. 11th Street	-	05/16/03	PA01-19102
RALP3	133003	703 N. 12th Street	-	06/10/03	PA01-10102
RALP3	133018	703 N. Marvine Street	-		
RALP3	133054	703 N. Warnock Street	-	04/14/03	PA01-29102
RALP3	133068	704 N. 10th Street	-	05/16/03	PA01-36102
RALP3	133029	704 N. 11th Street	-	06/10/03	PA01-16102
RALP3	133012	704 N. Marvine Street	-	06/10/03	PA01-07102
RALP3	133048	704 N. Warnock Street	-	04/25/03	PA01-26102
RALP3	133035	705 N. 11th Street	-	05/16/03	PA01-19102
RALP3	133004	705 N. 12th Street	-	06/10/03	PA01-10102
RALP3	133019	705 N. Marvine Street	-		
RALP3	133055	705 N. Warnock Street	-	04/14/03	PA01-29102
RALP3	133067	706 N. 10th Street	-	05/16/03	PA01-35102
RALP3	133028	706 N. 11th Street	-	06/10/03	PA01-15102
RALP3	133011	706 N. Marvine Street	-	06/10/03	PA01-06102
RALP3	133047	706 N. Warnock Street	-	04/25/03	PA01-25102
RALP3	133036	707 N. 11th Street	-	05/16/03	PA01-20102
RALP3	133005	707 N. 12th Street	-	06/10/03	PA01-11102
RALP3	133020	707 N. Marvine Street	-		
RALP3	133056	707 N. Warnock Street	-	04/14/03	PA01-30102
RALP3	133066	708 N. 10th Street	-	05/16/03	PA01-35102
RALP3	133027	708 N. 11th Street	-	06/10/03	PA01-15102
RALP3	133010	708 N. Marvine Street	-	06/10/03	PA01-06102
RALP3	133046	708 N. Warnock Street	-	04/25/03	PA01-25102
RALP3	133037	709 N. 11th Street	-	05/16/03	PA01-20102
RALP3	133006	709 N. 12th Street	-	06/10/03	PA01-11102
RALP3	133021	709 N. Marvine Street	-		
RALP3	133057	709 N. Warnock Street	-	04/14/03	PA01-30102
RALP3	133065	710 N. 10th Street	-	05/16/03	PA01-34102
RALP3	133026	710 N. 11th Street	-		
RALP3	133008	710 N. Marvine Street	A	06/10/03	PA01-14102
RALP3	133009	710 N. Marvine Street	B	06/10/03	PA01-14102
RALP3	133045	710 N. Warnock Street	-	04/25/03	PA01-24102
RALP3	133038	711 N. 11th Street	-	05/16/03	PA01-21102
RALP3	133007	711 N. 12th Street	-		

MCLP1	145077	711 N. 46th Street	-	12/29/04	PA03-13407
RALP3	133022	711 N. Marvine Street	-	06/10/03	PA01-12102
RALP3	133058	711 N. Warnock Street	-	03/27/03	PA01-30102
RALP3	133064	712 N. 10th Street	-	05/16/03	PA01-34102
RALP3	133025	712 N. 11th Street	-		
MCLP1	145058	712 N. 46th Street	-	12/22/04	PA03-10407
RALP3	133044	712 N. Warnock Street	-	04/25/03	PA01-24102
RALP3	133039	713 N. 11th Street	-	05/16/03	PA01-21102
MCLP1	145076	713 N. 46th Street	-	12/29/04	PA03-13407
RALP3	133023	713 N. Marvine Street	A	06/10/03	PA01-13102
RALP3	133024	713 N. Marvine Street	B	06/10/03	PA01-13102
RALP3	133059	713 N. Warnock Street	-	03/27/03	PA01-30102
RALP3	133062	714 N. 10th Street	A	05/16/03	PA01-33102
RALP3	133063	714 N. 10th Street	B	05/16/03	PA01-33102
MCLP1	145059	714 N. 46th Street	-	12/22/04	PA03-10407
RALP3	133042	714 N. Warnock Street	A	04/25/03	PA01-23102
RALP3	133043	714 N. Warnock Street	B	04/25/03	PA01-23102
RALP3	133040	715 N. 11th Street	A	05/23/03	PA01-22102
RALP3	133041	715 N. 11th Street	B	05/23/03	PA01-22102
MCLP1	145075	715 N. 46th Street	-	12/29/04	PA03-13407
RALP3	133060	715 N. Warnock Street	A	03/27/03	PA01-32102
RALP3	133061	715 N. Warnock Street	B	03/27/03	PA01-32102
MCLP1	145060	716 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145074	717 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145061	718 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145073	719 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145062	720 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145072	721 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145063	722 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145071	723 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145064	724 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145068	725 N. 46th Street	A	12/31/04	PA03-12407
MCLP1	145069	725 N. 46th Street	B	12/31/04	PA03-12407
MCLP1	145070	725 N. 46th Street	C	12/31/04	PA03-12407
MCLP1	145066	726 N. 46th Street	B	12/31/04	PA03-11407
MCLP1	145065	726 N. 46th Street	A	12/31/04	PA03-11407
MCLP1	145067	726 N. 46th Street	C	12/31/04	PA03-11407
MCLP1	145014	727 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145013	729 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145041	730 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145012	731 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145011	733 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145042	734 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145039	735 N. 46th Street	A	12/22/04	PA03-07407
MCLP1	145040	735 N. 46th Street	B	12/22/04	PA03-07407
MCLP1	145010	735 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145043	736 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145015	736 N. 46th Street	A	12/22/04	PA03-02407
MCLP1	145016	736 N. 46th Street	B	12/22/04	PA03-02407
MCLP1	145009	737 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145044	738 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145008	739 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145045	740 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145007	741 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145046	742 N. 45th Street	-	12/20/04	PA03-08407

MCLP1	145006	743 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145047	744 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145038	745 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145005	745 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145017	746 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145048	746 N.45th Street	-	12/20/04	PA03-08407
MCLP1	145037	747 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145004	747 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145049	748 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145018	748 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145036	749 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145003	749 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145050	750 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145019	750 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145035	751 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145002	751 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145051	752 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145020	752 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145034	753 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145001	753 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145052	754 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145021	754 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145033	755 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	Office	755 N. Markoe Street	-	n/a	n/a
MCLP1	145053	756 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145022	756 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145032	757 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145054	758 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145023	758 N. 46th Street	-	12/14/04	PA03-03407
MLKLP	149001	760 S. 13th Street	-	02/10/06	PA02-01418
MSVLP	156032	800 June Street	-	02/27/08	PA06-13105
RALP3	134110	800 N. 11th Street	A	08/20/03	PA01-57102
RALP3	134111	800 N. 11th Street	B	08/20/03	PA01-57102
RALP3	134090	800 N. Marvine Street	A	08/20/11	PA01-47102
RALP3	134091	800 N. Marvine Street	B	08/20/11	PA01-47102
RALP3	134092	801 N. Marvine Street	A	09/03/03	PA01-48102
RALP3	134093	801 N. Marvine Street	B	09/03/03	PA01-48102
RALP3	134072	801 N.12th Street	A	08/20/03	PA01-38102
RALP3	134073	801 N.12th Street	B	08/20/03	PA01-38102
MSVLP	156033	802 June Street	-	02/27/08	PA06-13105
RALP3	134109	802 N. 11th Street	-	08/20/03	PA01-56102
RALP3	134089	802 N. Marvine Street	-	08/20/11	PA01-46102
RALP3	134074	803 N. 12th Street	-	08/20/03	PA01-39102
RALP3	134094	803 N. Marvine Street	-	08/20/11	PA01-49102
MLKLP	149008	803 S. 13th Street	-	03/22/06	PA02-06418
MSVLP	156034	804 June Street	-	02/27/08	PA06-13105
RALP3	134108	804 N. 11th Street	-	08/20/03	PA01-56102
RALP3	134088	804 N. Marvine Street	-	08/20/11	PA01-46102
RALP3	134075	805 N. 12th Street	-	08/20/03	PA01-39102
RALP3	134095	805 N. Marvine Street	-	08/20/11	PA01-49102
MLKLP	149009	805 S. 13th Street	-	03/22/06	PA02-06418
MSVLP	156035	806 June Street	-	02/27/08	PA06-13105
RALP3	134107	806 N. 11th Street	-	08/20/03	PA01-55102
RALP3	134087	806 N. Marvine Street	-	08/20/03	PA01-45102
RALP3	134076	807 N. 12th Street	-	08/20/03	PA01-40102

RALP3	134096	807 N. Marvine Street	-	08/20/11	PA01-50102
MSVLP	156036	808 June Street	-	02/27/08	PA06-13105
RALP3	134106	808 N. 11th Street	-	08/20/03	PA01-55102
RALP3	134086	808 N. Marvine Street	-	08/20/03	PA01-45102
RALP3	134077	809 N. 12th Street	-	08/20/03	PA01-40102
RALP3	134097	809 N. Marvine Street	-	08/20/11	PA01-50102
MSVLP	156037	810 June Street	-	02/27/08	PA06-13105
RALP3	134105	810 N. 11th Street	-	08/20/11	PA01-54102
RALP3	134085	810 N. Marvine Street	-	08/20/03	PA01-44102
RALP3	134078	811 N. 12th Street	-	08/20/03	PA01-41102
LBLP3	office	811 N. 45th Street	-	11/03/06	PA05-13440
RALP3	134098	811 N. Marvine Street	-	08/20/11	PA01-51102
MSVLP	156038	812 June Street	-	02/27/08	PA06-13105
RALP3	134104	812 N. 11th Street	-	08/20/11	PA01-54102
RALP3	134084	812 N. Marvine Street	-	08/20/03	PA01-44102
LBLP3	153018	813 Lex Street	A	10/27/06	PA05-09440
LBLP3	153019	813 Lex Street	B	10/27/06	PA05-09440
RALP3	134079	813 N. 12th Street	-	08/20/03	PA01-41102
LBLP3	153043	813 N. 45th Street	-	11/03/06	PA05-13440
RALP3	134099	813 N. Marvine Street	-	08/20/11	PA01-51102
MSVLP	156039	814 June Street	-	02/27/08	PA06-13105
LBLP3	153030	814 Lex Street	A	10/31/06	PA05-11440
LBLP3	153031	814 Lex Street	B	10/31/06	PA05-11440
RALP3	134102	814 N. 11th Street	A	08/20/11	PA01-53102
RALP3	134103	814 N. 11th Street	B	08/20/11	PA01-53102
RALP3	134082	814 N. Marvine Street	A	08/20/03	PA01-43102
RALP3	134083	814 N. Marvine Street	B	08/20/03	PA01-43102
LBLP3	153020	815 Lex Street	-	10/27/06	PA05-09440
RALP3	134080	815 N. 12th Street	A	10/24/03	PA01-42102
RALP3	134081	815 N. 12th Street	B	10/24/03	PA01-42102
LBLP3	153044	815 N. 45th Street	-	11/03/06	PA05-13440
RALP3	134100	815 N. Marvine Street	A	08/20/11	PA01-52102
RALP3	134101	815 N. Marvine Street	B	08/20/11	PA01-52102
MLKLP	149014	815 S. 12th Street	A	11/18/05	PA02-10418
MLKLP	149015	815 S. 12th Street	B	11/18/05	PA02-10418
MSVLP	156040	816 June Street	-	02/27/08	PA06-13105
LBLP3	153032	816 Lex Street	-	10/31/06	PA05-11440
LBLP3	153021	817 Lex Street	-	10/27/06	PA05-09440
LBLP3	153045	817 N. 45th Street	-	11/03/06	PA05-13440
MSVLP	156041	818 June Street	-	02/27/08	PA06-13105
LBLP3	153033	818 Lex Street	-	10/31/06	PA05-11440
LBLP3	153022	819 Lex Street	-	10/27/06	PA05-09440
LBLP3	153046	819 N. 45th Street	-	11/03/06	PA05-13440
MSVLP	156042	820 June Street	-	02/27/08	PA06-13105
LBLP3	153034	820 Lex Street	-	10/31/06	PA05-11440
MLKLP	149022	820 S. 13th Street	-	11/15/05	PA02-16418
LBLP3	153023	821 Lex Street	-	10/27/06	PA05-09440
LBLP3	153047	821 N. 45th Street	-	11/03/06	PA05-13440
MSVLP	156043	822 June Street	-	02/27/08	PA06-13105
LBLP3	153035	822 Lex Street	-	10/31/06	PA05-11440
MLKLP	149023	822 S. 13th Street	-	11/15/05	PA02-16418
LBLP3	153024	823 Lex Street	-	10/27/06	PA05-09440
LBLP3	153048	823 N. 45th Street	-	11/03/06	PA05-13440
MSVLP	156044	824 June Street	-	02/27/08	PA06-13105
LBLP3	153036	824 Lex Street	-	10/31/06	PA05-11440

MSVLP	156052	824 Markoe Street	-	03/25/08	PA06-15105
LBLP3	153025	825 Lex Street	A	10/27/06	PA05-09440
LBLP3	153026	825 Lex Street	B	10/27/06	PA05-09440
MSVLP	156053	825 Markoe Street	-	03/26/08	PA06-14105
LBLP3	153049	825 N. 45th Street	A	11/03/06	PA05-13440
LBLP3	153050	825 N. 45th Street	B	11/03/06	PA05-13440
MSVLP	156045	826 June Street	-	02/27/08	PA06-13105
LBLP3	153037	826 Lex Street	A	10/31/06	PA05-11440
LBLP3	153038	826 Lex Street	B	10/31/06	PA05-11440
MSVLP	156054	826 Markoe Street	-	03/25/08	PA06-15105
MSVLP	156046	828 June Street	-	02/27/08	PA06-13105
MSVLP	156055	828 Markoe Street	-	03/25/08	PA06-15105
MSVLP	156047	830 June Street	-	02/27/08	PA06-13105
RALP3	134112	831 11th Street	-	11/07/03	PA01-58102
MSVLP	156048	832 June Street	-	02/27/08	PA06-13105
RALP3	134113	833 11th Street	-	11/07/03	PA01-58102
MSVLP	156049	834 June Street	-	02/27/08	PA06-13105
RALP3	134114	835 11th Street	-	11/07/03	PA01-58102
MSVLP	156050	836 June Street	-	02/27/08	PA06-13105
RALP3	134115	837 11th Street	-	11/07/03	PA01-58102
MSVLP	156051	838 June Street	-	02/27/08	PA06-13105
MSVLP	156056	838 Markoe Street	-	03/25/08	PA06-16105
RALP3	134116	839 11th Street	-	11/07/03	PA01-58102
RALP3	134117	841 11th Street	-	11/07/03	PA01-58102
RALP3	134137	842 10th Street	A	11/07/03	PA01-61102
RALP3	134138	842 10th Street	B	11/07/03	PA01-61102
RALP3	134118	843 11th Street	-	11/07/03	PA01-58102
RALP3	134119	845 11th Street	-	11/07/03	PA01-58102
LBLP3	153007	845 N. 48th Street	A	11/16/06	PA05-04440
LBLP3	153008	845 N. 48th Street	B	11/16/06	PA05-04440
RALP3	134120	847 11th Street	-	11/17/03	PA01-59102
LBLP3	153011	848 N. 44th Street	-	11/30/06	PA05-06440
RALP3	134121	849 11th Street	-	11/17/03	PA01-59102
LBLP3	153012	850 N. 44th Street	-	11/30/06	PA05-06440
LBLP3	153009	850 N. 45th Street	-	11/30/06	PA05-05440
RALP3	134122	851 11th Street	-	11/17/03	PA01-59102
LBLP3	153013	852 N. 44th Street	-	11/30/06	PA05-06440
LBLP3	153010	852 N. 45th Street	-	11/30/06	PA05-05440
RALP3	134123	853 11th Street	-	11/17/03	PA01-59102
LBLP2	150074	853 N. 46th Street	-	11/21/05	PA04-15412
LBLP2	150028	854 N. 46th Street	-	11/21/05	PA04-06412
RALP3	134124	855 11th Street	-	11/17/03	PA01-59102
LBLP2	150075	855 N. 46th Street	-	11/21/05	PA04-15412
LBLP2	150006	855 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150029	856 N. 46th Street	-	11/21/05	PA04-06412
RALP3	134125	857 11th Street	-	11/17/03	PA01-59102
LBLP2	150076	857 N. 46th Street	B	11/21/05	PA04-15412
LBLP2	150077	857 N. 46th Street	A	11/21/05	PA04-15412
LBLP2	150007	857 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150030	858 N. 46th Street	-	11/21/05	PA04-06412
RALP3	134126	859 11th Street	-	11/17/03	PA01-59102
LBLP2	150065	859 N. 46th Street	B	11/21/05	PA04-12412
LBLP2	150066	859 N. 46th Street	A	11/21/05	PA04-12412
LBLP2	150008	859 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150031	860 N. 46th Street	-	11/21/05	PA04-06412

RALP3	134127	861 11th Street	-	11/17/03	PA01-59102
LBLP2	150067	861 N. 46th Street	-	11/21/05	PA04-12412
LBLP2	150009	861 N. Markoe Street	-	11/21/05	PA04-03412
LBLP3	153014	862 N. 44th Street	-	11/30/06	PA05-07440
RALP3	134128	863 11th Street	-	11/17/03	PA01-59102
LBLP2	150068	863 N. 46th Street	-	11/21/05	PA04-12412
LBLP2	150010	863 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150038	864 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150069	865 N. 46th Street	-	11/21/05	PA04-12412
LBLP2	150011	865 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150039	866 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150012	867 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150040	868 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150013	869 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150041	870 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150014	871 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150042	872 N. Markoe Street	-	11/21/05	PA04-09412
LBLP3	153006	873 N. 48th Street	-	12/22/06	PA05-03440
LBLP2	150015	873 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150043	874 N. Markoe Street	-	11/21/05	PA04-09412
LBLP3	153005	875 N. 48th Street	-	12/22/06	PA05-03440
LBLP2	150016	875 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150044	876 N. Markoe Street	-	11/21/05	PA04-09412
LBLP3	153003	877 N. 48th Street	A	12/22/06	PA05-03440
LBLP3	153004	877 N. 48th Street	B	12/22/06	PA05-03440
LBLP2	150017	877 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150045	878 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150018	879 N. Markoe Street	A	11/21/05	PA04-03412
LBLP2	150019	879 N. Markoe Street	B	11/21/05	PA04-03412
LBLP2	150046	880 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150047	882 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150048	884 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150049	886 N. Markoe Street	A	11/21/05	PA04-09412
LBLP2	150050	886 N. Markoe Street	B	11/21/05	PA04-09412
LBLP3	153002	899 N. 48th Street	-	11/16/06	PA05-01440
CPLP3	147001	901 Marvine Street	-	05/24/05	PA03-01428
LBLP3	153001	901 N. 48th Street	-	11/16/06	PA05-01440
RALP3	134153	901 Ogden Place	A	11/26/03	PA01-71102
RALP3	134154	901 Ogden Place	B	11/26/03	PA01-71102
CPLP2	129030	902 11th Street	-	09/24/04	PA02-09411
CPLP3	147027	902 Marvine Street	-	05/26/05	PA03-08428
RALP3	134174	902 Ogden Place	-	11/26/03	PA01-81102
CPLP1	137036	902 Percy Street	-	9/30/03	PA01-07435
CPLP3	147002	903 Marvine Street	-	05/24/05	PA03-01428
CPLP1	137029	903 N. 10th Street	-	9/30/03	PA01-13435
CPLP3	147030	903 N. 12th Street	-	06/09/05	PA03-09428
RALP3	134173	903 Ogden Place	-	11/26/03	PA01-81102
CPLP2	129031	904 11th Street	-	09/24/04	PA02-10411
CPLP3	147026	904 Marvine Street	-	05/26/05	PA03-07428
RALP3	134172	904 Ogden Place	-	11/26/03	PA01-80102
CPLP3	147003	905 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147031	905 N. 12th Street	-	06/09/05	PA03-10428
RALP3	134171	905 Ogden Place	-	11/26/03	PA01-80102
RALP3	134178	905 Parrish Street	-	11/26/03	PA01-83102
CPLP2	129032	906 11th Street	-	09/24/04	PA02-10411

CPLP3	147025	906 Marvine Street	-	05/26/05	PA03-07428
RALP3	134170	906 Ogden Place	-	11/26/03	PA01-79102
CPLP1	137028	906 Percy Street	-	9/30/03	PA01-08435
RALP3	134164	906 Poplar Street	-	11/26/03	PA01-76102
CPLP2	129011	907 11th Street	-	09/14/04	PA02-05411
CPLP3	147004	907 Marvine Street	-	05/24/05	PA03-02428
CPLP1	137021	907 N. 10th Street	-	9/30/03	PA01-14435
CPLP3	147032	907 N. 12th Street	-	06/09/05	PA03-10428
RALP3	134169	907 Ogden Place	-	11/26/03	PA01-79102
RALP3	134177	907 Parrish Street	-	11/26/03	PA01-83102
CPLP2	129033	908 11th Street	-	10/08/04	PA02-11411
CPLP3	147024	908 Marvine Street	-	05/26/05	PA03-07428
CPLP1	137007	908 N. 10th Street	A	8/29/03	PA01-19435
CPLP1	137008	908 N. 10th Street	B	8/29/03	PA01-19435
RALP3	134168	908 Ogden Place	-	11/26/03	PA01-78102
CPLP1	137020	908 Percy Street	-	9/30/03	PA01-01435
RALP3	134163	908 Poplar Street	-	11/26/03	PA01-76102
CPLP2	129012	909 11th Street	-	09/14/04	PA02-05411
CPLP3	147005	909 Marvine Street	-	05/24/05	PA03-02428
CPLP1	137013	909 N. 10th Street	-	9/30/03	PA01-06435
CPLP3	147033	909 N. 12th Street	-	06/09/05	PA03-11428
RALP3	134167	909 Ogden Place	-	11/26/03	PA01-78102
RALP3	134176	909 Parrish Street	-	11/26/03	PA01-82102
CPLP2	129034	910 11th Street	-	10/08/04	PA02-11411
CPLP3	147023	910 Marvine Street	-	05/26/05	PA03-07428
CPLP1	137005	910 N. 10th Street	A	8/29/03	PA01-20435
CPLP1	137006	910 N. 10th Street	B	8/29/03	PA01-20435
RALP3	134166	910 Ogden Place	-	11/26/03	PA01-77102
RALP3	134162	910 Poplar Street	-	11/26/03	PA01-75102
CPLP2	129013	911 11th Street	-	09/14/04	PA02-06411
CPLP3	147006	911 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147034	911 N. 12th Street	-	06/09/05	PA03-11428
RALP3	134165	911 Ogden Place	-	11/26/03	PA01-77102
RALP3	134175	911 Parrish Street	-	11/26/03	PA01-82102
MLKLP	149034	911 S. 12th Street	-	02/23/06	PA02-23418
CPLP2	129035	912 11th Street	-	10/08/04	PA02-12411
CPLP3	147022	912 Marvine Street	-	05/26/05	PA03-07428
RALP3	134155	912 Ogden Place	A	11/26/03	PA01-72102
RALP3	134156	912 Ogden Place	B	11/26/03	PA01-72102
CPLP1	137012	912 Percy Street	-	9/30/03	PA01-02435
RALP3	134161	912 Poplar Street	-	11/26/03	PA01-75102
CPLP3	147007	913 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147035	913 N. 12th Street	-	06/09/05	PA03-12428
RALP3	134152	913 Parrish Street	-	11/26/03	PA01-70102
CPLP2	129036	914 11th Street	-	10/08/04	PA02-12411
CPLP3	147021	914 Marvine Street	-	05/26/05	PA03-06428
CPLP1	137003	914 N. 10th Street	A	8/29/03	PA01-21435
CPLP1	137004	914 N. 10th Street	B	8/29/03	PA01-21435
RALP3	134160	914 Poplar Street	-	11/26/03	PA01-74102
CPLP3	147008	915 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147036	915 N. 12th Street	-	06/09/05	PA03-12428
CPLP1	137043	915 Poplar Street	A	9/30/03	PA01-15435
CPLP1	137044	915 Poplar Street	B	9/30/03	PA01-15435
CPLP2	129037	916 11th Street	-	09/24/04	PA02-13411
CPLP1	137019	916 Cambridge Street	-	9/30/03	PA01-01435

CPLP3	147020	916 Marvine Street	-	05/26/05	PA03-06428
CPLP1	137001	916 N. 10th Street	A	8/29/03	PA01-22435
CPLP1	137002	916 N. 10th Street	B	8/29/03	PA01-22435
RALP3	134159	916 Poplar Street	-	11/26/03	PA01-74102
CPLP1	137035	916 W. George Street	-	9/30/03	PA01-07435
CPLP1	137011	917 Cambridge Street	-	9/30/03	PA01-02435
CPLP3	147009	917 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147037	917 N. 12th Street	-	06/09/05	PA03-13428
CPLP1	137041	917 Poplar Street	A	9/30/03	PA01-16435
CPLP1	137042	917 Poplar Street	B	9/30/03	PA01-16435
CPLP1	137027	917 W. George Street	-	9/30/03	PA01-08435
CPLP2	129038	918 11th Street	-	09/24/04	PA02-13411
CPLP1	137018	918 Cambridge Street	-	9/30/03	PA01-03435
CPLP3	147019	918 Marvine Street	-	05/26/05	PA03-06428
RALP3	134157	918 Poplar Street	A	11/26/03	PA01-73102
RALP3	134158	918 Poplar Street	B	11/26/03	PA01-73102
CPLP1	137034	918 W. George Street	-	9/30/03	PA01-09435
CPLP2	129016	919 11th Street	-	09/14/04	PA02-07411
CPLP1	137010	919 Cambridge Street	-	9/30/03	PA01-04435
CPLP3	147010	919 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147038	919 N. 12th Street	-	06/09/05	PA03-13428
CPLP1	137039	919 Poplar Street	A	9/30/03	PA01-17435
CPLP1	137040	919 Poplar Street	B	9/30/03	PA01-17435
CPLP1	137026	919 W. George Street	-	9/30/03	PA01-10435
CPLP2	129039	920 11th Street	-	09/29/04	PA02-14411
CPLP1	137017	920 Cambridge Street	-	9/30/03	PA01-03435
CPLP3	147018	920 Marvine Street	-	05/26/05	PA03-06428
CPLP1	137033	920 W. George Street	-	9/30/03	PA01-09435
CPLP2	129017	921 11th Street	-	09/14/04	PA02-08411
CPLP1	137009	921 Cambridge Street	-	9/30/03	PA01-04435
CPLP3	147011	921 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147039	921 N. 12th Street	-	06/09/05	PA03-14428
CPLP1	137037	921 Poplar Street	A	9/30/03	PA01-18435
CPLP1	137038	921 Poplar Street	B	9/30/03	PA01-18435
CPLP1	137025	921 W. George Street	-	9/30/03	PA01-10435
CPLP1	137016	922 Cambridge Street	-	9/30/03	PA01-05435
CPLP3	147017	922 Marvine Street	-	05/26/05	PA03-06428
CPLP1	137032	922 W. George Street	-	9/30/03	PA01-11435
CPLP2	129018	923 11th Street	-	09/14/04	PA02-08411
CPLP3	147012	923 Marvine Street	-	05/24/05	PA03-03428
CPLP1	137024	923 W. George Street	-	9/30/03	PA01-12435
CPLP1	137015	924 Cambridge Street	-	9/30/03	PA01-05435
CPLP3	147016	924 Marvine Street	-	05/26/05	PA03-05428
CPLP1	137031	924 W. George Street	-	9/30/03	PA01-11435
CPLP3	147013	925 Marvine Street	-	05/24/05	PA03-04428
CPLP1	137023	925 W. George Street	-	9/30/03	PA01-12435
CPLP1	137014	926 Cambridge Street	-	9/30/03	PA01-06435
CPLP3	147015	926 Marvine Street	-	05/26/05	PA03-05428
CPLP1	137030	926 W. George Street	-	9/30/03	PA01-13435
CPLP3	147014	927 Marvine Street	-	05/24/05	PA03-04428
CPLP1	137022	927 W. George Street	-	9/30/03	PA01-14435
RALP3	134139	1000 Ogden Street	-	11/07/03	PA01-62102
RALP3	134150	1001 Ogden Street	A	11/17/03	PA01-69102
RALP3	134151	1001 Ogden Street	B	11/17/03	PA01-69102
RALP3	134140	1002 Ogden Street	-	11/07/03	PA01-63102

RALP3	134149	1003 Ogden Street	-	11/07/03	PA01-68102
RALP3	134141	1004 Ogden Street	-	11/07/03	PA01-63102
RALP3	134148	1005 Ogden Street	-	11/07/03	PA01-68102
RALP3	134136	1005 Parrish Street	-	11/07/03	PA01-60102
CPLP2	129001	1006 Cambridge Street	-	08/17/04	PA02-01411
RALP3	134142	1006 Ogden Street	-	11/07/03	PA01-64102
CPLP2	129028	1007 Cambridge Street	-	08/17/04	PA02-02411
RALP3	134147	1007 Ogden Street	-	11/07/03	PA01-67102
RALP3	134135	1007 Parrish Street	-	11/07/03	PA01-60102
CPLP2	129002	1008 Cambridge Street	-	08/17/04	PA02-01411
RALP3	134143	1008 Ogden Street	-	11/07/03	PA01-64102
CPLP2	129027	1009 Cambridge Street	-	08/17/04	PA02-02411
RALP3	134146	1009 Ogden Street	-	11/07/03	PA01-67102
RALP3	134134	1009 Parrish Street	-	11/07/03	PA01-60102
CPLP2	129003	1010 Cambridge Street	-	08/17/04	PA02-01411
RALP3	134144	1010 Ogden Street	-	11/07/03	PA01-65102
CPLP2	129026	1011 Cambridge Street	-	08/17/04	PA02-02411
RALP3	134145	1011 Ogden Street	-	11/07/03	PA01-66102
RALP3	134133	1011 Parrish Street	-	11/07/03	PA01-60102
CPLP2	129004	1012 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129025	1013 Cambridge Street	-	08/17/04	PA02-02411
RALP3	134132	1013 Parrish Street	-	11/07/03	PA01-60102
MLKLP	149039	1013 S. 13th Street	-	03/22/06	PA02-27418
CPLP2	129005	1014 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129024	1015 Cambridge Street	-	08/17/04	PA02-02411
RALP3	134131	1015 Parrish Street	-	11/07/03	PA01-60102
CPLP2	129006	1016 Cambridge Street	-	08/23/04	PA02-03411
CPLP2	129023	1017 Cambridge Street	-	08/23/04	PA02-04411
RALP3	134130	1017 Parrish Street	-	11/07/03	PA01-60102
CPLP2	129007	1018 Cambridge Street	-	08/23/04	PA02-03411
NORLP	175043	1018 Diamond Street	-		
CPLP2	129022	1019 Cambridge Street	-	08/23/04	PA02-04411
RALP3	134129	1019 Parrish Street	-	11/07/03	PA01-60102
NORLP	175001	1019 W. Norris Street	A		
NORLP	175002	1019 W. Norris Street	B		
NORLP	175003	1019 W. Norris Street	C		
NORLP	175004	1019 W. Norris Street	D		
WNLP1	160043	1019 W. Somerset Street	A	09/28/09	PA07-02412
WNLP1	160044	1019 W. Somerset Street	B	09/28/09	PA07-02412
CPLP2	129008	1020 Cambridge Street	-	08/23/04	PA02-03411
NORLP	175044	1020 Diamond Street	-		
WNLP1	160023	1020 W. Cambria Street	B	09/28/09	PA07-04412
WNLP1	160024	1020 W. Cambria Street	A	09/28/09	PA07-04412
CPLP2	129021	1021 Cambridge Street	-	08/23/04	PA02-04411
NORLP	175005	1021 W. Norris Street	A		
NORLP	175006	1021 W. Norris Street	B		
NORLP	175007	1021 W. Norris Street	C		
NORLP	175008	1021 W. Norris Street	D		
WNLP1	160045	1021 W. Somerset Street	-	09/28/09	PA07-02412
CPLP2	129009	1022 Cambridge Street	-	08/23/04	PA02-03411
NORLP	175045	1022 Diamond Street	-		
WNLP1	160022	1022 W. Cambria Street	-	09/28/09	PA07-04412
CPLP2	129020	1023 Cambridge Street	-	08/23/04	PA02-04411
NORLP	175009	1023 W. Norris Street	A		
NORLP	175010	1023 W. Norris Street	B		

NORLP	175011	1023 W. Norris Street	C		
NORLP	175012	1023 W. Norris Street	D		
WNLP1	160046	1023 W. Somerset Street	-	09/28/09	PA07-02412
CPLP2	129010	1024 Cambridge Street	-	08/23/04	PA02-03411
NORLP	175046	1024 Diamond Street	-		
WNLP1	160021	1024 W. Cambria Street	-	09/28/09	PA07-04412
CPLP2	129019	1025 Cambridge Street	-	08/23/04	PA02-04411
WNLP1	160047	1025 W. Somerset Street	-	09/28/09	PA07-02412
CPLP2	129014	1026 Cambridge Street	-	09/14/04	PA02-06411
NORLP	175047	1026 Diamond Street	-		
WNLP1	160020	1026 W. Cambria Street	-	09/28/09	PA07-04412
CPLP2	129015	1027 Cambridge Street	-	09/14/04	PA02-07411
WNLP1	160048	1027 W. Somerset Street	-	09/28/09	PA07-02412
NORLP	175048	1028 Diamond Street	-		
WNLP1	160019	1028 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160049	1029 W. Somerset Street	-	09/28/09	PA07-02412
NORLP	175049	1030 Diamond Street	-		
WNLP1	160018	1030 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160050	1031 W. Somerset Street	-	09/28/09	PA07-02412
NORLP	175050	1032 Diamond Street	-		
WNLP1	160016	1032 W. Cambria Street	A	09/28/09	PA07-04412
WNLP1	160017	1032 W. Cambria Street	B	09/28/09	PA07-04412
NORLP	175051	1034 Diamond Street	-		
CPLP2	129040	1100 Harper Street	-	09/29/04	PA02-14411
CPLP2	129029	1101 Poplar Street	-	09/24/04	PA02-09411
MLKLP	149040	1103 Kimball Street	-	03/22/06	PA02-28418
CPLP3	147028	1105 Poplar Street	-	05/26/05	PA03-08428
CPLP3	147040	1106 Harper Street	-	06/09/05	PA03-14428
CPLP3	147029	1107 Poplar Street	-	06/09/05	PA03-09428
MLKLP	149041	1115 Kimball Street	-	11/18/05	PA02-29418
MLKLP	149042	1117 Kimball Street	-	11/18/05	PA02-29418
MLKLP	149035	1121 Carpenter Street	A	11/18/05	PA02-24418
MLKLP	149036	1121 Carpenter Street	B	11/18/05	PA02-24418
MLKLP	149013	1123 Christian Street	-	02/23/06	PA02-09418
MLKLP	149016	1133 Christian Street	-	02/23/06	PA02-11418
MLKLP	149017	1202-06 Webster Street	-	02/23/06	PA02-12418
MLKLP	149037	1208 Montrose Street	-	02/23/06	PA02-25418
MLKLP	149038	1212 Montrose Street	-	02/23/06	PA02-26418
MLKLP	149018	1221 Christian Street	-	03/02/06	PA02-13418
MLKLP	149010	1223 Webster Street	A	11/08/05	PA02-07418
MLKLP	149011	1223 Webster Street	B	11/08/05	PA02-07418
MLKLP	149019	1224 Webster Street	-	03/15/06	PA02-30418
MLKLP	149004	1226 Catherine Street	-	03/22/06	PA02-03418
MLKLP	149030	1228 Christian Street	A	03/22/06	PA02-21418
MLKLP	149031	1228 Christian Street	B	03/22/06	PA02-21418
MLKLP	149006	1231 Webster Street	A	11/08/05	PA02-05418
MLKLP	149007	1231 Webster Street	B	11/08/05	PA02-05418
MLKLP	149005	1232 Catherine Street	-	03/15/06	PA02-04418
MLKLP	149020	1235 Christian Street	-	02/23/06	PA02-14418
MLKLP	149021	1239 Christian Street	-	03/02/06	PA02-15418
MLKLP	149032	1242 Christian Street	A	03/22/06	PA02-22418
MLKLP	149033	1242 Christian Street	B	03/22/06	PA02-22418
MLKLP	149002	1312 Catherine Street	-	02/03/06	PA02-02418
MLKLP	149003	1314 Catherine Street	-	02/03/06	PA02-02418
MLKLP	149024	1317 Christian Street	-	02/03/06	PA02-17418

MLKLP	149025	1319 Christian Street	-	02/03/06	PA02-17418
MLKLP	149012	1319 Webster Street	-	03/15/06	PA02-08418
MLKLP	149026	1324 Webster Street	-	03/15/06	PA02-18418
MLKLP	149027	1330 Webster Street	-	12/09/05	PA02-19418
MLKLP	149028	1332 Webster Street	A	11/23/05	PA02-20418
MLKLP	149029	1332 Webster Street	B	11/23/05	PA02-20418
LLSS3	157001	1404 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157002	1406 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157003	1410 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157004	1412 Franklin Street	-	12/18/07	PA06-01419
SMLP1	132001	1416 Clearview Street Bldg F	119	09/17/03	PA01-01304
SMLP1	132002	1416 Clearview Street Bldg F	120	09/17/03	PA01-01304
SMLP1	132003	1416 Clearview Street Bldg F	121	09/17/03	PA01-01304
SMLP1	132004	1416 Clearview Street Bldg F	122	09/17/03	PA01-01304
SMLP1	132005	1416 Clearview Street Bldg F	123	09/17/03	PA01-01304
SMLP1	132006	1416 Clearview Street Bldg F	219	09/17/03	PA01-01304
SMLP1	132007	1416 Clearview Street Bldg F	220	09/17/03	PA01-01304
SMLP1	132008	1416 Clearview Street Bldg F	221	09/17/03	PA01-01304
SMLP1	132009	1416 Clearview Street Bldg F	222	09/17/03	PA01-01304
SMLP1	132010	1416 Clearview Street Bldg F	223	09/17/03	PA01-01304
SMLP1	132011	1416 Clearview Street Bldg F	319	09/17/03	PA01-01304
SMLP1	132012	1416 Clearview Street Bldg F	320	09/17/03	PA01-01304
SMLP1	132013	1416 Clearview Street Bldg F	321	09/17/03	PA01-01304
SMLP1	132014	1416 Clearview Street Bldg F	322	09/17/03	PA01-01304
SMLP1	132015	1416 Clearview Street Bldg F	323	09/17/03	PA01-01304
SMLP1	132016	1416 Clearview Street Bldg F	419	09/17/03	PA01-01304
SMLP1	132017	1416 Clearview Street Bldg F	420	09/17/03	PA01-01304
SMLP1	132018	1416 Clearview Street Bldg F	421	09/17/03	PA01-01304
SMLP1	132019	1416 Clearview Street Bldg F	422	09/17/03	PA01-01304
SMLP1	132020	1416 Clearview Street Bldg F	423	09/17/03	PA01-01304
SMLP1	132021	1416 Clearview Street Bldg F	519	09/17/03	PA01-01304
SMLP1	132022	1416 Clearview Street Bldg F	520	09/17/03	PA01-01304
SMLP1	132023	1416 Clearview Street Bldg F	521	09/17/03	PA01-01304
SMLP1	132024	1416 Clearview Street Bldg F	522	09/17/03	PA01-01304
SMLP1	132025	1416 Clearview Street Bldg F	523	09/17/03	PA01-01304
SMLP1	132026	1416 Clearview Street Bldg F	619	09/17/03	PA01-01304
SMLP1	132027	1416 Clearview Street Bldg F	620	09/17/03	PA01-01304
SMLP1	132028	1416 Clearview Street Bldg F	621	09/17/03	PA01-01304
SMLP1	132029	1416 Clearview Street Bldg F	622	09/17/03	PA01-01304
SMLP1	132030	1416 Clearview Street Bldg F	623	09/17/03	PA01-01304
SMLP1	132031	1418 Clearview Street Bldg G	115	10/01/03	PA01-02304
SMLP1	132032	1418 Clearview Street Bldg G	116	10/01/03	PA01-02304
SMLP1	132033	1418 Clearview Street Bldg G	117	10/01/03	PA01-02304
SMLP1	132034	1418 Clearview Street Bldg G	118	10/01/03	PA01-02304
SMLP1	132035	1418 Clearview Street Bldg G	215	10/01/03	PA01-02304
SMLP1	132036	1418 Clearview Street Bldg G	216	10/01/03	PA01-02304
SMLP1	132037	1418 Clearview Street Bldg G	217	10/01/03	PA01-02304
SMLP1	132038	1418 Clearview Street Bldg G	218	10/01/03	PA01-02304
SMLP1	132039	1418 Clearview Street Bldg G	315	10/01/03	PA01-02304
SMLP1	132040	1418 Clearview Street Bldg G	316	10/01/03	PA01-02304
SMLP1	132041	1418 Clearview Street Bldg G	317	10/01/03	PA01-02304
SMLP1	132042	1418 Clearview Street Bldg G	318	10/01/03	PA01-02304
SMLP1	132043	1418 Clearview Street Bldg G	415	10/01/03	PA01-02304
SMLP1	132044	1418 Clearview Street Bldg G	416	10/01/03	PA01-02304
SMLP1	132045	1418 Clearview Street Bldg G	417	10/01/03	PA01-02304

SMLP1	132100	1422 Clearview Street Bldg J	506	10/23/03	PA01-04304
SMLP1	132101	1422 Clearview Street Bldg J	507	10/23/03	PA01-04304
SMLP1	132102	1422 Clearview Street Bldg J	508	10/23/03	PA01-04304
SMLP1	132103	1422 Clearview Street Bldg J	509	10/23/03	PA01-04304
SMLP1	132104	1422 Clearview Street Bldg J	606	10/23/03	PA01-04304
SMLP1	132105	1422 Clearview Street Bldg J	607	10/23/03	PA01-04304
SMLP1	132106	1422 Clearview Street Bldg J	608	10/23/03	PA01-04304
SMLP1	132107	1422 Clearview Street Bldg J	609	10/23/03	PA01-04304
SMLP1	132108	1424 Clearview Street Bldg K	101	11/28/03	PA01-05304
SMLP1	132109	1424 Clearview Street Bldg K	102	11/28/03	PA01-05304
SMLP1	132110	1424 Clearview Street Bldg K	103	11/28/03	PA01-05304
SMLP1	132111	1424 Clearview Street Bldg K	104	11/28/03	PA01-05304
SMLP1	132112	1424 Clearview Street Bldg K	105	11/28/03	PA01-05304
SMLP1	132113	1424 Clearview Street Bldg K	201	11/28/03	PA01-05304
SMLP1	132114	1424 Clearview Street Bldg K	202	11/28/03	PA01-05304
SMLP1	132115	1424 Clearview Street Bldg K	203	11/28/03	PA01-05304
SMLP1	132116	1424 Clearview Street Bldg K	204	11/28/03	PA01-05304
SMLP1	132117	1424 Clearview Street Bldg K	205	11/28/03	PA01-05304
SMLP1	132118	1424 Clearview Street Bldg K	301	11/28/03	PA01-05304
SMLP1	132119	1424 Clearview Street Bldg K	302	11/28/03	PA01-05304
SMLP1	132120	1424 Clearview Street Bldg K	303	11/28/03	PA01-05304
SMLP1	132121	1424 Clearview Street Bldg K	304	11/28/03	PA01-05304
SMLP1	132122	1424 Clearview Street Bldg K	305	11/28/03	PA01-05304
SMLP1	132123	1424 Clearview Street Bldg K	401	11/28/03	PA01-05304
SMLP1	132124	1424 Clearview Street Bldg K	402	11/28/03	PA01-05304
SMLP1	132125	1424 Clearview Street Bldg K	403	11/28/03	PA01-05304
SMLP1	132126	1424 Clearview Street Bldg K	404	11/28/03	PA01-05304
SMLP1	132127	1424 Clearview Street Bldg K	405	11/28/03	PA01-05304
SMLP1	132128	1424 Clearview Street Bldg K	501	11/28/03	PA01-05304
SMLP1	132129	1424 Clearview Street Bldg K	502	11/28/03	PA01-05304
SMLP1	132130	1424 Clearview Street Bldg K	503	11/28/03	PA01-05304
SMLP1	132131	1424 Clearview Street Bldg K	504	11/28/03	PA01-05304
SMLP1	132132	1424 Clearview Street Bldg K	505	11/28/03	PA01-05304
SMLP1	132133	1424 Clearview Street Bldg K	601	11/28/03	PA01-05304
SMLP1	132134	1424 Clearview Street Bldg K	602	11/28/03	PA01-05304
SMLP1	132135	1424 Clearview Street Bldg K	603	11/28/03	PA01-05304
SMLP1	132136	1424 Clearview Street Bldg K	604	11/28/03	PA01-05304
SMLP1	132137	1424 Clearview Street Bldg K	605	11/28/03	PA01-05304
LLSS3	157040	1427 7th Street	-	02/01/08	PA06-06419
LLSS3	157039	1429 7th Street	-	02/01/08	PA06-06419
LLSS3	157038	1435 7th Street	-	02/01/08	PA06-07419
LLSS3	157037	1437 7th Street	-	02/01/08	PA06-07419
LLSS3	157036	1445 7th Street	-	02/01/08	PA06-08419
LLSS3	157035	1447 7th Street	-	02/01/08	PA06-08419
LLSS3	157034	1449 7th Street	-	02/01/08	PA06-08419
LLSS3	157006	1450 Franklin Street	-	01/23/08	PA06-03419
LLSS3	157007	1452 Franklin Street	-	01/23/08	PA06-03419
LLSS3	157010	1501 Franklin Street	A	02/06/08	PA06-04419
LLSS3	157011	1501 Franklin Street	B	02/06/08	PA06-04419
LLSS3	157033	1507 7th Street	-	02/06/08	PA06-09419
LLSS3	157032	1509 7th Street	-	02/06/08	PA06-09419
LLSS3	157031	1511 7th Street	-	02/06/08	PA06-09419
LLSS3	157030	1511 7th Street	A	02/06/08	PA06-09419
LLSS3	157029	1513 7th Street	-	02/06/08	PA06-09419
LLSS3	157028	1513 7th Street	A	02/06/08	PA06-09419

LLSS3	157027	1515 7th Street	-	02/06/08	PA06-09419
LLSS3	157041	1522 Marshall Street	-	03/10/08	PA06-10419
LLSS3	157042	1524 Marshall Street	-	03/10/08	PA06-10419
LLSS3	157043	1526 Marshall Street	-	03/10/08	PA06-10419
LLSS3	157009	1533 Franklin Street	-	02/06/08	PA06-05419
LLSS3	157008	1535 Franklin Street	-	02/06/08	PA06-05419
LLSS3	157054	1605 Marshall Street	-	02/27/08	PA06-14419
LLSS3	157055	1606 6th Street	-	03/04/08	PA06-18419
TALP2	144001	1607 32nd Street	A	07/27/05	PA03-08101
TALP2	144002	1607 32nd Street	B	07/27/05	PA03-08101
LLSS3	157053	1607 Marshall Street	-	02/27/08	PA06-14419
TALP2	144031	1607 Napa Street	A	11/03/05	PA03-10101
TALP2	144032	1607 Napa Street	B	11/03/05	PA03-10101
LLSS3	157056	1608 6th Street	A	03/04/08	PA06-18419
LLSS3	157057	1608 6th Street	B	03/04/08	PA06-18419
TALP2	144029	1608 Napa Street	A	07/27/05	PA03-09101
TALP2	144030	1608 Napa Street	B	07/27/05	PA03-09101
TALP2	144003	1609 32nd Street	-	07/27/05	PA03-08101
TALP2	144033	1609 Napa Street	-	11/03/05	PA03-10101
LLSS3	157058	1610 6th Street	A	03/04/08	PA06-18419
LLSS3	157059	1610 6th Street	B	03/04/08	PA06-18419
TALP2	144028	1610 Napa Street	-	07/27/05	PA03-09101
TALP2	144004	1611 32nd Street	-	07/27/05	PA03-08101
TALP2	144034	1611 Napa Street	-	11/03/05	PA03-10101
TALP2	144027	1612 Napa Street	-	07/27/05	PA03-09101
TALP2	144005	1613 32nd Street	-	07/27/05	PA03-08101
LLSS3	157052	1613 Marshall Street	-	02/27/08	PA06-15419
TALP2	144035	1613 Napa Street	-	11/03/05	PA03-10101
TALP2	144026	1614 Napa Street	-	07/27/05	PA03-09101
TALP2	144006	1615 32nd Street	-	07/27/05	PA03-08101
LLSS3	157051	1615 Marshall Street	-	02/27/08	PA06-15419
TALP2	144036	1615 Napa Street	-	11/03/05	PA03-10101
TALP2	144025	1616 Napa Street	-	07/27/05	PA03-09101
TALP2	144007	1617 32nd Street	-	07/27/05	PA03-08101
LLSS3	157022	1617 7th Street	A	12/18/07	PA06-11419
LLSS3	157023	1617 7th Street	B	12/18/07	PA06-11419
TALP2	144037	1617 Napa Street	-	11/03/05	PA03-10101
TALP2	144024	1618 Napa Street	-	07/27/05	PA03-09101
TALP2	144008	1619 32nd Street	-	07/27/05	PA03-08101
LLSS3	157019	1619 7th Street	A	12/18/07	PA06-11419
LLSS3	157020	1619 7th Street	B	12/18/07	PA06-11419
LLSS3	157021	1619 7th Street	C	12/18/07	PA06-11419
TALP2	144038	1619 Napa Street	-	11/03/05	PA03-10101
LLSS3	157044	1620 Marshall Street	A	01/11/08	PA06-16419
LLSS3	157045	1620 Marshall Street	B	01/11/08	PA06-16419
TALP2	144023	1620 Napa Street	-	07/27/05	PA03-09101
TALP2	144009	1621 32nd Street	-	07/27/05	PA03-08101
LLSS3	157046	1622 Marshall Street	A	01/11/08	PA06-16419
LLSS3	157047	1622 Marshall Street	B	01/11/08	PA06-16419
TALP2	144022	1622 Napa Street	-	07/27/05	PA03-09101
TALP2	144010	1623 32nd Street	-	07/27/05	PA03-08101
TALP2	144021	1624 Napa Street	-	07/27/05	PA03-09101
TALP2	144011	1625 32nd Street	-	07/27/05	PA03-08101
TALP2	144020	1626 Napa Street	-	07/27/05	PA03-09101
TALP2	144012	1627 32nd Street	-	07/27/05	PA03-08101

TALP2	144019	1628 Napa Street	-	07/27/05	PA03-09101
TALP2	144013	1629 32nd Street	-	07/27/05	PA03-08101
LLSS3	157018	1629 7th Street	-	01/11/08	PA06-12419
TALP2	144018	1630 Napa Street	-	07/27/05	PA03-09101
TALP2	144014	1631 32nd Street	A	07/27/05	PA03-08101
TALP2	144015	1631 32nd Street	B	07/27/05	PA03-08101
LLSS3	157017	1631 7th Street	-	01/11/08	PA06-12419
TALP2	144039	1631 Napa Street	A	12/30/05	PA03-11101
TALP2	144040	1631 Napa Street	B	12/30/05	PA03-11101
LLSS3	157048	1632 Marshall Street	-	01/11/08	PA06-17419
TALP2	144016	1632 Napa Street	A	07/27/05	PA03-09101
TALP2	144017	1632 Napa Street	B	07/27/05	PA03-09101
LLSS3	157049	1634 Marshall Street	-	01/11/08	PA06-17419
LLSS3	157050	1636 Marshall Street	-	01/11/08	PA06-17419
LLSS3	157016	1647 7th Street	-	02/21/08	PA06-13419
LLSS3	157015	1649 7th Street	-	02/21/08	PA06-13419
LLSS3	157014	1651 7th Street	-	02/21/08	PA06-13419
LLSS3	157013	1653 7th Street	-	02/21/08	PA06-13419
LLSS3	157012	1655 7th Street	-	02/21/08	PA06-13419
TALP1	139136	1700 29th Street	-	06/04/04	PA02-31102
TALP2	143061	1700 32nd Street	A	03/08/05	PA03-04101
TALP2	143062	1700 32nd Street	B	03/08/05	PA03-04101
TALP1	139098	1700 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144081	1700 Napa Street	A	10/18/05	PA03-06101
TALP2	144082	1700 Napa Street	B	10/18/05	PA03-06101
TALP2	143019	1700 Natrona Street	A	01/25/05	PA03-01101
TALP2	143020	1700 Natrona Street	B	01/25/05	PA03-01101
TALP1	139079	1701 30th Street	-	05/14/04	PA02-28102
TALP2	144041	1701 32nd Street	A	10/27/05	PA03-05101
TALP2	144042	1701 32nd Street	B	10/27/05	PA03-05101
TALP2	143017	1701 Douglas Street	A	12/31/04	PA03-01101
TALP2	143018	1701 Douglas Street	B	12/31/04	PA03-01101
TALP1	139117	1701 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144083	1701 Napa Street	A	10/18/05	PA03-07101
TALP2	144084	1701 Napa Street	B	10/18/05	PA03-07101
TALP2	143040	1701 Natrona Street	A	03/08/05	PA03-03101
TALP2	143041	1701 Natrona Street	B	03/08/05	PA03-03101
TALP1	139135	1702 29th Street	-	06/04/04	PA02-31102
TALP2	143064	1702 32nd Street	-	03/08/05	PA03-04101
TALP1	139097	1702 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144080	1702 Napa Street	-	10/18/05	PA03-06101
TALP2	143022	1702 Natrona Street	-	01/25/05	PA03-01101
TALP1	139078	1703 30th Street	-	05/14/04	PA02-28102
TALP2	144043	1703 32nd Street	-	10/27/05	PA03-05101
TALP2	143016	1703 Douglas Street	-	12/31/04	PA03-01101
TALP1	139116	1703 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144085	1703 Napa Street	-	10/18/05	PA03-07101
TALP2	143060	1703 Natrona Street	-	03/08/05	PA03-03101
TALP1	139134	1704 29th Street	-	06/04/04	PA02-31102
TALP2	143063	1704 32nd Street	-	03/08/05	PA03-04101
LLSS3	157060	1704 6th Street	-	12/11/07	PA06-19419
TALP1	139096	1704 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144079	1704 Napa Street	-	10/18/05	PA03-06101
TALP2	143021	1704 Natrona Street	-	01/25/05	PA03-01101
TALP1	139077	1705 30th Street	-	05/14/04	PA02-28102

TALP2	144044	1705 32nd Street	-	10/27/05	PA03-05101
TALP2	143015	1705 Douglas Street	-	12/31/04	PA03-01101
TALP1	139115	1705 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144086	1705 Napa Street	-	10/18/05	PA03-07101
TALP2	143059	1705 Natrona Street	-	03/08/05	PA03-03101
TALP1	139133	1706 29th Street	-	06/04/04	PA02-31102
TALP2	143065	1706 32nd Street	-	03/08/05	PA03-04101
LLSS3	157061	1706 6th Street	A	12/11/07	PA06-19419
LLSS3	157062	1706 6th Street	B	12/11/07	PA06-19419
LLSS3	157063	1706 6th Street	C	12/11/07	PA06-19419
TALP1	139095	1706 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144078	1706 Napa Street	-	10/18/05	PA03-06101
TALP2	143023	1706 Natrona Street	-	01/25/05	PA03-01101
TALP1	139076	1707 30th Street	-	05/14/04	PA02-28102
TALP2	144045	1707 32nd Street	-	10/27/05	PA03-05101
TALP2	143014	1707 Douglas Street	-	12/31/04	PA03-01101
TALP1	139114	1707 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144087	1707 Napa Street	-	10/18/05	PA03-07101
TALP2	143058	1707 Natrona Street	-	03/08/05	PA03-03101
TALP1	139132	1708 29th Street	-	06/04/04	PA02-31102
TALP2	143066	1708 32nd Street	-	03/08/05	PA03-04101
LLSS3	157064	1708 6th Street	A	12/11/07	PA06-19419
LLSS3	157065	1708 6th Street	B	12/11/07	PA06-19419
LLSS3	157066	1708 6th Street	C	12/11/07	PA06-19419
TALP1	139094	1708 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144077	1708 Napa Street	-	10/18/05	PA03-06101
TALP2	143024	1708 Natrona Street	-	01/25/05	PA03-01101
TALP1	139075	1709 30th Street	-	05/14/04	PA02-28102
TALP2	144046	1709 32nd Street	-	10/27/05	PA03-05101
TALP2	143013	1709 Douglas Street	-	12/31/04	PA03-01101
TALP1	139113	1709 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144088	1709 Napa Street	-	10/18/05	PA03-07101
TALP2	143057	1709 Natrona Street	-	03/08/05	PA03-03101
TALP1	139131	1710 29th Street	-	06/04/04	PA02-31102
TALP2	143067	1710 32nd Street	-	03/08/05	PA03-04101
LLSS3	157067	1710 6th Street	A	12/11/07	PA06-19419
LLSS3	157068	1710 6th Street	B	12/11/07	PA06-19419
LLSS3	157069	1710 6th Street	C	12/11/07	PA06-19419
TALP1	139093	1710 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144076	1710 Napa Street	-	10/18/05	PA03-06101
TALP2	143025	1710 Natrona Street	-	01/25/05	PA03-01101
TALP1	139074	1711 30th Street	-	05/14/04	PA02-28102
TALP2	144047	1711 32nd Street	-	10/27/05	PA03-05101
TALP2	143012	1711 Douglas Street	-	12/31/04	PA03-01101
TALP1	139112	1711 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144089	1711 Napa Street	-	10/18/05	PA03-07101
TALP2	143056	1711 Natrona Street	-	03/08/05	PA03-03101
TALP1	139130	1712 29th Street	-	06/04/04	PA02-31102
TALP2	143068	1712 32nd Street	-	03/08/05	PA03-04101
LLSS3	157070	1712 6th Street	A	12/11/07	PA06-19419
LLSS3	157071	1712 6th Street	B	12/11/07	PA06-19419
LLSS3	157072	1712 6th Street	C	12/11/07	PA06-19419
TALP1	139092	1712 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144075	1712 Napa Street	-	10/18/05	PA03-06101
TALP2	143026	1712 Natrona Street	-	01/25/05	PA03-01101

TALP1	139073	1713 30th Street	-	05/14/04	PA02-28102
TALP2	144048	1713 32nd Street	-	10/27/05	PA03-05101
TALP2	143011	1713 Douglas Street	-	12/31/04	PA03-01101
TALP1	139111	1713 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144090	1713 Napa Street	-	10/18/05	PA03-07101
TALP2	143055	1713 Natrona Street	-	03/08/05	PA03-03101
TALP1	139129	1714 29th Street	-	06/04/04	PA02-31102
TALP2	143069	1714 32nd Street	-	03/08/05	PA03-04101
TALP1	139091	1714 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144074	1714 Napa Street	-	10/18/05	PA03-06101
TALP2	143027	1714 Natrona Street	-	01/25/05	PA03-01101
TALP1	139072	1715 30th Street	-	05/14/04	PA02-28102
TALP2	144049	1715 32nd Street	-	10/27/05	PA03-05101
TALP2	143010	1715 Douglas Street	-	12/31/04	PA03-01101
TALP1	139110	1715 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144091	1715 Napa Street	-	10/18/05	PA03-07101
TALP2	143054	1715 Natrona Street	-	03/08/05	PA03-03101
TALP1	139128	1716 29th Street	-	06/04/04	PA02-31102
TALP2	143070	1716 32nd Street	-	03/08/05	PA03-04101
TALP1	139090	1716 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144073	1716 Napa Street	-	10/18/05	PA03-06101
TALP2	143028	1716 Natrona Street	-	01/25/05	PA03-01101
TALP1	139071	1717 30th Street	-	05/14/04	PA02-28102
TALP2	144050	1717 32nd Street	-	10/27/05	PA03-05101
TALP2	143009	1717 Douglas Street	-	12/31/04	PA03-01101
TALP1	139109	1717 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144092	1717 Napa Street	-	10/18/05	PA03-07101
TALP2	143053	1717 Natrona Street	-	03/08/05	PA03-03101
TALP1	139127	1718 29th Street	-	06/04/04	PA02-31102
TALP2	143071	1718 32nd Street	-	03/08/05	PA03-04101
TALP1	139089	1718 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144072	1718 Napa Street	-	10/18/05	PA03-06101
TALP2	143029	1718 Natrona Street	-	01/25/05	PA03-01101
TALP1	139070	1719 30th Street	-	05/14/04	PA02-28102
TALP2	144051	1719 32nd Street	-	10/27/05	PA03-05101
TALP2	143008	1719 Douglas Street	-	12/31/04	PA03-01101
TALP1	139108	1719 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144093	1719 Napa Street	-	10/18/05	PA03-07101
TALP2	143052	1719 Natrona Street	-	03/08/05	PA03-03101
TALP1	139126	1720 29th Street	-	06/04/04	PA02-31102
TALP2	143072	1720 32nd Street	-	03/08/05	PA03-04101
TALP1	139088	1720 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144071	1720 Napa Street	-	10/18/05	PA03-06101
TALP2	143030	1720 Natrona Street	-	01/25/05	PA03-01101
TALP1	139069	1721 30th Street	-	05/14/04	PA02-28102
TALP2	144052	1721 32nd Street	-	10/27/05	PA03-05101
TALP2	143007	1721 Douglas Street	-	12/31/04	PA03-01101
TALP1	139107	1721 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144094	1721 Napa Street	-	10/18/05	PA03-07101
TALP2	143051	1721 Natrona Street	-	03/08/05	PA03-03101
TALP1	139125	1722 29th Street	-	06/04/04	PA02-31102
TALP2	143073	1722 32nd Street	-	03/08/05	PA03-04101
TALP1	139087	1722 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144070	1722 Napa Street	-	10/18/05	PA03-06101
TALP2	143031	1722 Natrona Street	-	01/25/05	PA03-01101

TALP1	139068	1723 30th Street	-	05/14/04	PA02-28102
TALP2	144053	1723 32nd Street	-	10/27/05	PA03-05101
TALP2	143006	1723 Douglas Street	-	12/31/04	PA03-01101
TALP1	139106	1723 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144095	1723 Napa Street	-	10/18/05	PA03-07101
TALP2	143050	1723 Natrona Street	-	03/08/05	PA03-03101
TALP1	139124	1724 29th Street	-	06/04/04	PA02-31102
TALP2	143074	1724 32nd Street	-	03/08/05	PA03-04101
TALP1	139086	1724 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144069	1724 Napa Street	-	10/18/05	PA03-06101
TALP2	143032	1724 Natrona Street	-	01/25/05	PA03-01101
TALP1	139067	1725 30th Street	-	05/14/04	PA02-28102
TALP2	144054	1725 32nd Street	-	10/27/05	PA03-05101
TALP2	143005	1725 Douglas Street	-	12/31/04	PA03-01101
TALP1	139105	1725 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144096	1725 Napa Street	-	10/18/05	PA03-07101
TALP2	143049	1725 Natrona Street	-	03/08/05	PA03-03101
TALP1	139123	1726 29th Street	-	06/04/04	PA02-31102
TALP2	143075	1726 32nd Street	-	03/08/05	PA03-04101
TALP1	139085	1726 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144068	1726 Napa Street	-	10/18/05	PA03-06101
TALP2	143033	1726 Natrona Street	-	01/25/05	PA03-01101
TALP1	139066	1727 30th Street	-	05/14/04	PA02-28102
TALP2	144055	1727 32nd Street	-	10/27/05	PA03-05101
TALP2	143003	1727 Douglas Street	-	12/31/04	PA03-01101
TALP1	139104	1727 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144097	1727 Napa Street	-	10/18/05	PA03-07101
TALP2	143048	1727 Natrona Street	-	03/08/05	PA03-03101
TALP1	139122	1728 29th Street	-	06/04/04	PA02-31102
TALP2	143076	1728 32nd Street	-	03/08/05	PA03-04101
TALP1	139084	1728 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144067	1728 Napa Street	-	10/18/05	PA03-06101
TALP2	143034	1728 Natrona Street	-	01/25/05	PA03-01101
TALP1	139065	1729 30th Street	-	05/14/04	PA02-28102
TALP2	144056	1729 32nd Street	-	10/27/05	PA03-05101
TALP2	143004	1729 Douglas Street	-	12/31/04	PA03-01101
TALP1	139103	1729 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144098	1729 Napa Street	-	10/18/05	PA03-07101
TALP2	143047	1729 Natrona Street	-	03/08/05	PA03-03101
TALP1	139121	1730 29th Street	-	06/04/04	PA02-31102
TALP2	143077	1730 32nd Street	-	03/08/05	PA03-04101
TALP1	139083	1730 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144066	1730 Napa Street	-	10/18/05	PA03-06101
TALP2	143035	1730 Natrona Street	-	01/25/05	PA03-01101
TALP1	139064	1731 30th Street	-	05/14/04	PA02-28102
TALP2	144057	1731 32nd Street	-	10/27/05	PA03-05101
TALP2	143001	1731 Douglas Street	B	12/31/04	PA03-01101
TALP2	143002	1731 Douglas Street	A	12/31/04	PA03-01101
TALP1	139102	1731 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144099	1731 Napa Street	-	10/18/05	PA03-07101
TALP2	143046	1731 Natrona Street	-	03/08/05	PA03-03101
TALP1	139120	1732 29th Street	-	06/04/04	PA02-31102
TALP2	143078	1732 32nd Street	-	03/08/05	PA03-04101
TALP1	139082	1732 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144065	1732 Napa Street	-	10/18/05	PA03-06101

TALP2	143036	1732 Natrona Street	-	01/25/05	PA03-01101
TALP1	139063	1733 30th Street	-	05/14/04	PA02-28102
TALP2	144058	1733 32nd Street	-	10/27/05	PA03-05101
TALP1	139101	1733 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144100	1733 Napa Street	-	10/18/05	PA03-07101
TALP2	143044	1733 Natrona Street	-	03/08/05	PA03-03101
TALP1	139119	1734 29th Street	-	06/04/04	PA02-31102
TALP2	143079	1734 32nd Street	-	03/08/05	PA03-04101
TALP1	139081	1734 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144064	1734 Napa Street	-	10/18/05	PA03-06101
TALP2	143037	1734 Natrona Street	-	01/25/05	PA03-01101
TALP1	139062	1735 30th Street	-	05/14/04	PA02-28102
TALP2	144059	1735 32nd Street	-	10/27/05	PA03-05101
TALP1	139100	1735 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144101	1735 Napa Street	-	10/18/05	PA03-07101
TALP2	143045	1735 Natrona Street	-	03/08/05	PA03-03101
TALP1	139118	1736 29th Street	-	06/04/04	PA02-31102
TALP2	143080	1736 32nd Street	A	03/08/05	PA03-04101
TALP2	143081	1736 32nd Street	B	03/08/05	PA03-04101
TALP1	139080	1736 Hollywood Street	-	05/14/04	PA02-29102
TALP2	144062	1736 Napa Street	A	10/18/05	PA03-06101
TALP2	144063	1736 Napa Street	B	10/18/05	PA03-06101
TALP2	143038	1736 Natrona Street	A	01/25/05	PA03-01101
TALP2	143039	1736 Natrona Street	B	01/25/05	PA03-01101
TALP1	139061	1737 30th Street	-	05/14/04	PA02-28102
TALP2	144060	1737 32nd Street	A	10/27/05	PA03-05101
TALP2	144061	1737 32nd Street	B	10/27/05	PA03-05101
TALP1	139099	1737 Hollywood Street	-	06/04/04	PA02-30102
TALP2	144102	1737 Napa Street	A	10/18/05	PA03-07101
TALP2	144103	1737 Napa Street	B	10/18/05	PA03-07101
TALP2	143043	1737 Natrona Street	B	03/08/05	PA03-03101
TALP2	143042	1737 Natrona Street	A	03/08/05	PA03-03101
LLSS3	157073	1758 6th Street	-	03/10/08	PA06-20419
LLSS3	157074	1760 6th Street	A	03/10/08	PA06-20419
LLSS3	157075	1760 6th Street	B	03/10/08	PA06-20419
TALP1	139012	1800 30th Street	-	01/14/04	PA02-06102
TALP1	139036	1800 Corlies Street	-	03/29/04	PA02-18102
TALP1	139055	1801 30th Street	-	06/23/04	PA02-26102
TALP1	139037	1801 31st Street	-	03/29/04	PA02-19102
TALP1	139013	1801 Corlies Street	-	01/14/04	PA02-07102
TALP1	139011	1802 30th Street	-	01/14/04	PA02-06102
TALP1	139035	1802 Corlies Street	-	03/29/04	PA02-18102
TALP1	139056	1803 30th Street	-	06/23/04	PA02-26102
TALP1	139038	1803 31st Street	-	03/29/04	PA02-19102
TALP1	139014	1803 Corlies Street	-	01/14/04	PA02-07102
TALP1	139010	1804 30th Street	-	01/14/04	PA02-05102
TALP1	139034	1804 Corlies Street	-	03/29/04	PA02-17102
TALP1	139053	1805 30th Street	-	06/23/04	PA02-26102
TALP1	139039	1805 31st Street	-	03/29/04	PA02-20102
TALP1	139015	1805 Corlies Street	-	01/14/04	PA02-08102
TALP1	139009	1806 30th Street	-	01/14/04	PA02-05102
TALP1	139033	1806 Corlies Street	-	03/29/04	PA02-17102
TALP1	139054	1807 30th Street	-	06/23/04	PA02-26102
TALP1	139040	1807 31st Street	-	03/29/04	PA02-20102
TALP1	139016	1807 Corlies Street	-	01/14/04	PA02-08102

TALP1	139008	1808 30th Street	-	01/14/04	PA02-04102
TALP1	139032	1808 Corlies Street	-	03/29/04	PA02-16102
TALP1	139051	1809 30th Street	-	03/29/04	PA02-25102
TALP1	139041	1809 31st Street	-	03/29/04	PA02-21102
TALP1	139017	1809 Corlies Street	-	01/14/04	PA02-09102
TALP1	139007	1810 30th Street	-	01/14/04	PA02-04102
TALP1	139031	1810 Corlies Street	-	03/29/04	PA02-16102
TALP1	139052	1811 30th Street	-	03/29/04	PA02-25102
TALP1	139042	1811 31st Street	-	03/29/04	PA02-21102
TALP1	139018	1811 Corlies Street	-	01/14/04	PA02-09102
TALP1	139006	1812 30th Street	-	01/14/04	PA02-03102
TALP1	139030	1812 Corlies Street	-	03/29/04	PA02-15102
TALP1	139049	1813 30th Street	-	03/29/04	PA02-25102
TALP1	139043	1813 31st Street	-	03/29/04	PA02-22102
TALP1	139019	1813 Corlies Street	-	01/14/04	PA02-10102
TALP1	139005	1814 30th Street	-	01/14/04	PA02-03102
TALP1	139029	1814 Corlies Street	-	03/29/04	PA02-15102
TALP1	139050	1815 30th Street	-	03/29/04	PA02-25102
TALP1	139044	1815 31st Street	-	03/29/04	PA02-22102
TALP1	139020	1815 Corlies Street	-	01/14/04	PA02-10102
TALP1	139004	1816 30th Street	-	01/14/04	PA02-02102
TALP1	139028	1816 Corlies Street	-	03/29/04	PA02-14102
TALP1	139045	1817 31st Street	-	03/29/04	PA02-23102
TALP1	139021	1817 Corlies Street	-	01/14/04	PA02-11102
TALP1	139003	1818 30th Street	-	01/14/04	PA02-02102
TALP1	139027	1818 Corlies Street	-	03/29/04	PA02-14102
TALP1	139046	1819 31st Street	-	03/29/04	PA02-23102
TALP1	139022	1819 Corlies Street	-	01/14/04	PA02-11102
TALP1	139002	1820 30th Street	-	01/14/04	PA02-01102
TALP1	139026	1820 Corlies Street	-	03/29/04	PA02-13102
TALP1	139047	1821 31st Street	-	03/29/04	PA02-24102
TALP1	139023	1821 Corlies Street	-	01/14/04	PA02-12102
TALP1	139001	1822 30th Street	-	01/14/04	PA02-01102
TALP1	139025	1822 Corlies Street	-	03/29/04	PA02-13102
TALP1	139048	1823 31st Street	-	03/29/04	PA02-24102
TALP1	139024	1823 Corlies Street	-	01/14/04	PA02-12102
NORLP	175013	2001 N. 11th Street	A		
NORLP	175014	2001 N. 11th Street	B		
NORLP	175015	2001 N. 11th Street	C		
NORLP	175016	2001 N. 11th Street	D		
NORLP	175017	2003 N. 11th Street	A		
NORLP	175018	2003 N. 11th Street	B		
NORLP	175019	2003 N. 11th Street	C		
NORLP	175020	2005 N. 11th Street	A		
NORLP	175021	2005 N. 11th Street	B		
NORLP	175022	2005 N. 11th Street	C		
NORLP	175023	2007 N. 11th Street	A		
NORLP	175024	2007 N. 11th Street	B		
NORLP	175025	2007 N. 11th Street	C		
NORLP	175026	2009 N. 11th Street	A		
NORLP	175027	2009 N. 11th Street	B		
NORLP	175028	2009 N. 11th Street	C		
NORLP	175029	2009 N. 11th Street	D		
NORLP	office	2013 N. 11th Street	A		
NORLP	175030	2013 N. 11th Street	B		

NORLP	175031	2013 N. 11th Street	C		
NORLP	175032	2013 N. 11th Street	D		
NORLP	175033	2015 N. 11th Street	A		
NORLP	175034	2015 N. 11th Street	B		
NORLP	175035	2015 N. 11th Street	C		
NORLP	175036	2017 N. 11th Street	A		
NORLP	175037	2017 N. 11th Street	B		
NORLP	175038	2017 N. 11th Street	C		
NORLP	175039	2019 N. 11th Street	A		
NORLP	175040	2019 N. 11th Street	B		
NORLP	175041	2019 N. 11th Street	C		
NORLP	175042	2019 N. 11th Street	D		
PALP1	173006	2210 S. 72nd Street	A	11/02/11	
PALP1	173007	2210 S. 72nd Street	B	11/02/11	
PALP1	173008	2212 S. 72nd Street	A	11/02/11	
PALP1	173009	2212 S. 72nd Street	B	11/02/11	
PALP1	173010	2214 S. 72nd Street	A	09/21/11	
PALP1	173011	2214 S. 72nd Street	B	09/21/11	
PALP1	173012	2216 S. 72nd Street		09/21/11	
PALP1	173013	2218 S. 72nd Street		09/22/11	
PALP1	173014	2220 S. 72nd Street		09/22/11	
PALP1	173015	2222 S. 72nd Street		09/22/11	
PALP1	173016	2224 S. 72nd Street		09/26/11	
PALP1	173017	2226 S. 72nd Street		09/26/11	
PALP1	173018	2228 S. 72nd Street		09/26/11	
PALP1	173019	2230 S. 72nd Street		09/29/11	
NRGLP	158001	2653 Glenwood Drive	102	10/03/08	PA06-01434
NRGLP	158002	2653 Glenwood Drive	103	10/03/08	PA06-01434
NRGLP	158003	2653 Glenwood Drive	104	10/03/08	PA06-01434
NRGLP	158004	2653 Glenwood Drive	105	10/03/08	PA06-01434
NRGLP	158005	2653 Glenwood Drive	106	10/03/08	PA06-01434
NRGLP	158006	2653 Glenwood Drive	107	10/03/08	PA06-01434
NRGLP	158007	2653 Glenwood Drive	108	10/03/08	PA06-01434
NRGLP	158008	2653 Glenwood Drive	109	10/03/08	PA06-01434
NRGLP	158009	2653 Glenwood Drive	110	10/03/08	PA06-01434
NRGLP	158010	2653 Glenwood Drive	112	10/03/08	PA06-01434
NRGLP	158011	2653 Glenwood Drive	114	10/03/08	PA06-01434
NRGLP	158012	2653 Glenwood Drive	116	10/03/08	PA06-01434
NRGLP	158013	2653 Glenwood Drive	201	10/03/08	PA06-01434
NRGLP	158014	2653 Glenwood Drive	202	10/03/08	PA06-01434
NRGLP	158015	2653 Glenwood Drive	203	10/03/08	PA06-01434
NRGLP	158016	2653 Glenwood Drive	204	10/03/08	PA06-01434
NRGLP	158017	2653 Glenwood Drive	205	10/03/08	PA06-01434
NRGLP	158018	2653 Glenwood Drive	206	10/03/08	PA06-01434
NRGLP	158019	2653 Glenwood Drive	207	10/03/08	PA06-01434
NRGLP	158020	2653 Glenwood Drive	208	10/03/08	PA06-01434
NRGLP	158021	2653 Glenwood Drive	209	10/03/08	PA06-01434
NRGLP	158022	2653 Glenwood Drive	210	10/03/08	PA06-01434
NRGLP	158023	2653 Glenwood Drive	211	10/03/08	PA06-01434
NRGLP	158024	2653 Glenwood Drive	212	10/03/08	PA06-01434
NRGLP	158025	2653 Glenwood Drive	213	10/03/08	PA06-01434
NRGLP	158026	2653 Glenwood Drive	214	10/03/08	PA06-01434
NRGLP	158027	2653 Glenwood Drive	215	10/03/08	PA06-01434
NRGLP	158028	2653 Glenwood Drive	216	10/03/08	PA06-01434
NRGLP	158029	2653 Glenwood Drive	217	10/03/08	PA06-01434

NRGLP	158030	2653 Glenwood Drive	218	10/03/08	PA06-01434
NRGLP	158031	2653 Glenwood Drive	219	10/03/08	PA06-01434
NRGLP	158032	2653 Glenwood Drive	220	10/03/08	PA06-01434
NRGLP	158033	2653 Glenwood Drive	222	10/03/08	PA06-01434
NRGLP	158034	2653 Glenwood Drive	224	10/03/08	PA06-01434
NRGLP	158035	2653 Glenwood Drive	226	10/03/08	PA06-01434
NRGLP	158036	2653 Glenwood Drive	228	10/03/08	PA06-01434
NRGLP	158037	2653 Glenwood Drive	230	10/03/08	PA06-01434
NRGLP	158038	2653 Glenwood Drive	232	10/03/08	PA06-01434
NRGLP	158039	2653 Glenwood Drive	301	10/03/08	PA06-01434
NRGLP	158040	2653 Glenwood Drive	302	10/03/08	PA06-01434
NRGLP	158041	2653 Glenwood Drive	303	10/03/08	PA06-01434
NRGLP	158042	2653 Glenwood Drive	304	10/03/08	PA06-01434
NRGLP	158043	2653 Glenwood Drive	305	10/03/08	PA06-01434
NRGLP	158044	2653 Glenwood Drive	306	10/03/08	PA06-01434
NRGLP	158045	2653 Glenwood Drive	307	10/03/08	PA06-01434
NRGLP	158046	2653 Glenwood Drive	308	10/03/08	PA06-01434
NRGLP	158047	2653 Glenwood Drive	309	10/03/08	PA06-01434
NRGLP	158048	2653 Glenwood Drive	310	10/03/08	PA06-01434
NRGLP	158049	2653 Glenwood Drive	311	10/03/08	PA06-01434
NRGLP	158050	2653 Glenwood Drive	312	10/03/08	PA06-01434
NRGLP	158051	2653 Glenwood Drive	313	10/03/08	PA06-01434
NRGLP	158052	2653 Glenwood Drive	314	10/03/08	PA06-01434
NRGLP	158053	2653 Glenwood Drive	315	10/03/08	PA06-01434
NRGLP	158054	2653 Glenwood Drive	316	10/03/08	PA06-01434
NRGLP	158055	2653 Glenwood Drive	317	10/03/08	PA06-01434
NRGLP	158056	2653 Glenwood Drive	318	10/03/08	PA06-01434
NRGLP	158057	2653 Glenwood Drive	319	10/03/08	PA06-01434
NRGLP	158058	2653 Glenwood Drive	320	10/03/08	PA06-01434
NRGLP	158059	2653 Glenwood Drive	322	10/03/08	PA06-01434
NRGLP	158060	2653 Glenwood Drive	324	10/03/08	PA06-01434
NRGLP	158061	2653 Glenwood Drive	326	10/03/08	PA06-01434
NRGLP	158062	2653 Glenwood Drive	328	10/03/08	PA06-01434
NRGLP	158063	2653 Glenwood Drive	330	10/03/08	PA06-01434
NRGLP	158064	2653 Glenwood Drive	332	10/03/08	PA06-01434
WNLP1	160041	2810 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160042	2810 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160001	2811 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160002	2811 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160040	2812 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160003	2813 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160039	2814 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160004	2815 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160038	2816 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160005	2817 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160006	2817 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160037	2818 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160007	2819 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160008	2819 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160035	2820 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160036	2820 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160009	2821 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160010	2821 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160033	2822 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160034	2822 N. Warnock Street	B	09/28/09	PA07-03412

WNLP1	160011	2823 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160031	2824 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160032	2824 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160012	2825 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160030	2826 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160013	2827 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160029	2828 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160014	2829 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160028	2830 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160015	2831 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160027	2832 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160025	2834 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160026	2834 N. Warnock Street	A	09/28/09	PA07-03412
WNLP2	161001	2862 Germantown Avenue	201	12/23/09	PA07-00438
WNLP2	161002	2862 Germantown Avenue	202	12/23/09	PA07-00438
WNLP2	161003	2862 Germantown Avenue	203	12/23/09	PA07-00438
WNLP2	161004	2862 Germantown Avenue	204	12/23/09	PA07-00438
WNLP2	161005	2862 Germantown Avenue	205	12/23/09	PA07-00438
WNLP2	161006	2862 Germantown Avenue	206	12/23/09	PA07-00438
WNLP2	161007	2862 Germantown Avenue	207	12/23/09	PA07-00438
WNLP2	161008	2862 Germantown Avenue	208	12/23/09	PA07-00438
WNLP2	161009	2862 Germantown Avenue	209	12/23/09	PA07-00438
WNLP2	161010	2862 Germantown Avenue	210	12/23/09	PA07-00438
WNLP2	161011	2862 Germantown Avenue	211	12/23/09	PA07-00438
WNLP2	161012	2862 Germantown Avenue	212	12/23/09	PA07-00438
WNLP2	161013	2862 Germantown Avenue	213	12/23/09	PA07-00438
WNLP2	161014	2862 Germantown Avenue	214	12/23/09	PA07-00438
WNLP2	161015	2862 Germantown Avenue	301	12/23/09	PA07-00438
WNLP2	161016	2862 Germantown Avenue	302	12/23/09	PA07-00438
WNLP2	161017	2862 Germantown Avenue	303	12/23/09	PA07-00438
WNLP2	161018	2862 Germantown Avenue	304	12/23/09	PA07-00438
WNLP2	161019	2862 Germantown Avenue	305	12/23/09	PA07-00438
WNLP2	161020	2862 Germantown Avenue	306	12/23/09	PA07-00438
WNLP2	161021	2862 Germantown Avenue	307	12/23/09	PA07-00438
WNLP2	161022	2862 Germantown Avenue	308	12/23/09	PA07-00438
WNLP2	161023	2862 Germantown Avenue	309	12/23/09	PA07-00438
WNLP2	161024	2862 Germantown Avenue	310	12/23/09	PA07-00438
WNLP2	161025	2862 Germantown Avenue	311	12/23/09	PA07-00438
WNLP2	161026	2862 Germantown Avenue	312	12/23/09	PA07-00438
WNLP2	161027	2862 Germantown Avenue	313	12/23/09	PA07-00438
WNLP2	161028	2862 Germantown Avenue	314	12/23/09	PA07-00438
WNLP2	161029	2862 Germantown Avenue	315	12/23/09	PA07-00438
WNLP2	161030	2862 Germantown Avenue	316	12/23/09	PA07-00438
WNLP2	161031	2862 Germantown Avenue	317	12/23/09	PA07-00438
WNLP2	161032	2862 Germantown Avenue	318	12/23/09	PA07-00438
WNLP2	161033	2862 Germantown Avenue	319	12/23/09	PA07-00438
WNLP2	161034	2862 Germantown Avenue	320	12/23/09	PA07-00438
WNLP2	161035	2862 Germantown Avenue	321	12/23/09	PA07-00438
WNLP2	161036	2862 Germantown Avenue	322	12/23/09	PA07-00438
WNLP2	161037	2862 Germantown Avenue	323	12/23/09	PA07-00438
WNLP2	161038	2862 Germantown Avenue	324	12/23/09	PA07-00438
WNLP2	161039	2862 Germantown Avenue	325	12/23/09	PA07-00438
WNLP2	161040	2862 Germantown Avenue	326	12/23/09	PA07-00438
WNLP2	161041	2862 Germantown Avenue	327	12/23/09	PA07-00438
WNLP2	161042	2862 Germantown Avenue	328	12/23/09	PA07-00438

WNLP2	161043	2862 Germantown Avenue	329	12/23/09	PA07-00438
WNLP2	161044	2862 Germantown Avenue	330	12/23/09	PA07-00438
WNLP2	161045	2862 Germantown Avenue	331	12/23/09	PA07-00438
TALP1	139153	2905 New Hope Street	-	06/23/04	PA02-32102
TALP1	139059	2906 Moore Street	-	06/23/04	PA02-27102
TALP1	139152	2907 New Hope Street	-	06/23/04	PA02-32102
TALP1	139060	2908 Moore Street	-	06/23/04	PA02-27102
TALP1	139151	2909 New Hope Street	-	06/23/04	PA02-32102
TALP1	139057	2910 Moore Street	-	06/23/04	PA02-27102
TALP1	139150	2911 New Hope Street	-	06/23/04	PA02-32102
TALP1	139058	2912 Moore Street	-	06/23/04	PA02-27102
TALP1	139149	2913 New Hope Street	-	06/23/04	PA02-32102
TALP1	139148	2915 New Hope Street	-	06/23/04	PA02-32102
TALP1	139147	2917 New Hope Street	-	06/23/04	PA02-32102
TALP1	139146	2919 New Hope Street	-	06/23/04	PA02-32102
TALP1	139145	2921 New Hope Street	-	06/23/04	PA02-32102
TALP1	139144	2923 New Hope Street	-	06/23/04	PA02-32102
TALP1	139143	2925 New Hope Street	-	06/23/04	PA02-32102
TALP1	139142	2927 New Hope Street	-	06/23/04	PA02-32102
TALP1	139141	2929 New Hope Street	-	06/23/04	PA02-32102
TALP1	139140	2931 New Hope Street	-	06/23/04	PA02-32102
TALP1	139139	2933 New Hope Street	-	06/23/04	PA02-32102
TALP1	139138	2935 New Hope Street	-	06/23/04	PA02-32102
TALP1	139137	2937 New Hope Street	-	06/23/04	PA02-32102
TALP1	139173	3000 W. Mifflin Street	-	06/23/04	PA02-41102
TALP1	139174	3001 Moore Street	100	11/23/04	PA02-42102
TALP1	139175	3001 Moore Street	101	11/23/04	PA02-42102
TALP1	139176	3001 Moore Street	102	11/23/04	PA02-42102
TALP1	139177	3001 Moore Street	103	11/23/04	PA02-42102
TALP1	139178	3001 Moore Street	104	11/23/04	PA02-42102
TALP1	139179	3001 Moore Street	105	11/23/04	PA02-42102
TALP1	139180	3001 Moore Street	106	11/23/04	PA02-42102
TALP1	139181	3001 Moore Street	107	11/23/04	PA02-42102
TALP1	139182	3001 Moore Street	108	11/23/04	PA02-42102
TALP1	139183	3001 Moore Street	109	11/23/04	PA02-42102
TALP1	139184	3001 Moore Street	110	11/23/04	PA02-42102
TALP1	139185	3001 Moore Street	111	11/23/04	PA02-42102
TALP1	139186	3001 Moore Street	112	11/23/04	PA02-42102
TALP1	139187	3001 Moore Street	113	11/23/04	PA02-42102
TALP1	139188	3001 Moore Street	200	11/23/04	PA02-42102
TALP1	139189	3001 Moore Street	201	11/23/04	PA02-42102
TALP1	139190	3001 Moore Street	202	11/23/04	PA02-42102
TALP1	139191	3001 Moore Street	203	11/23/04	PA02-42102
TALP1	139192	3001 Moore Street	204	11/23/04	PA02-42102
TALP1	139193	3001 Moore Street	205	11/23/04	PA02-42102
TALP1	139194	3001 Moore Street	206	11/23/04	PA02-42102
TALP1	139195	3001 Moore Street	207	11/23/04	PA02-42102
TALP1	139196	3001 Moore Street	208	11/23/04	PA02-42102
TALP1	139197	3001 Moore Street	209	11/23/04	PA02-42102
TALP1	139198	3001 Moore Street	210	11/23/04	PA02-42102
TALP1	139199	3001 Moore Street	211	11/23/04	PA02-42102
TALP1	139200	3001 Moore Street	212	11/23/04	PA02-42102
TALP1	139201	3001 Moore Street	213	11/23/04	PA02-42102
TALP1	139202	3001 Moore Street	214	11/23/04	PA02-42102
TALP1	139203	3001 Moore Street	215	11/23/04	PA02-42102

TALP1	139204	3001 Moore Street	216	11/23/04	PA02-42102
TALP1	139205	3001 Moore Street	217	11/23/04	PA02-42102
TALP1	139206	3001 Moore Street	218	11/23/04	PA02-42102
TALP1	139207	3001 Moore Street	219	11/23/04	PA02-42102
TALP1	139208	3001 Moore Street	220	11/23/04	PA02-42102
TALP1	139209	3001 Moore Street	221	11/23/04	PA02-42102
TALP1	139210	3001 Moore Street	222	11/23/04	PA02-42102
TALP1	139211	3001 Moore Street	223	11/23/04	PA02-42102
TALP1	139212	3001 Moore Street	224	11/23/04	PA02-42102
TALP1	139213	3001 Moore Street	225	11/23/04	PA02-42102
TALP1	139214	3001 Moore Street	226	11/23/04	PA02-42102
TALP1	139215	3001 Moore Street	227	11/23/04	PA02-42102
TALP1	139216	3001 Moore Street	228	11/23/04	PA02-42102
TALP1	139217	3001 Moore Street	300	11/23/04	PA02-42102
TALP1	139218	3001 Moore Street	301	11/23/04	PA02-42102
TALP1	139219	3001 Moore Street	302	11/23/04	PA02-42102
TALP1	139220	3001 Moore Street	303	11/23/04	PA02-42102
TALP1	139221	3001 Moore Street	304	11/23/04	PA02-42102
TALP1	139222	3001 Moore Street	305	11/23/04	PA02-42102
TALP1	139223	3001 Moore Street	306	11/23/04	PA02-42102
TALP1	139224	3001 Moore Street	307	11/23/04	PA02-42102
TALP1	139225	3001 Moore Street	308	11/23/04	PA02-42102
TALP1	139226	3001 Moore Street	309	11/23/04	PA02-42102
TALP1	139227	3001 Moore Street	310	11/23/04	PA02-42102
TALP1	139228	3001 Moore Street	311	11/23/04	PA02-42102
TALP1	139229	3001 Moore Street	312	11/23/04	PA02-42102
TALP1	139230	3001 Moore Street	313	11/23/04	PA02-42102
TALP1	139231	3001 Moore Street	314	11/23/04	PA02-42102
TALP1	139232	3001 Moore Street	315	11/23/04	PA02-42102
TALP1	139233	3001 Moore Street	316	11/23/04	PA02-42102
TALP1	139234	3001 Moore Street	317	11/23/04	PA02-42102
TALP1	139235	3001 Moore Street	318	11/23/04	PA02-42102
TALP1	139236	3001 Moore Street	319	11/23/04	PA02-42102
TALP1	139237	3001 Moore Street	320	11/23/04	PA02-42102
TALP1	139238	3001 Moore Street	321	11/23/04	PA02-42102
TALP1	139239	3001 Moore Street	322	11/23/04	PA02-42102
TALP1	139240	3001 Moore Street	323	11/23/04	PA02-42102
TALP1	139241	3001 Moore Street	324	11/23/04	PA02-42102
TALP1	139242	3001 Moore Street	325	11/23/04	PA02-42102
TALP1	139243	3001 Moore Street	326	11/23/04	PA02-42102
TALP1	139244	3001 Moore Street	327	11/23/04	PA02-42102
TALP1	139245	3001 Moore Street	328	11/23/04	PA02-42102
TALP1	139172	3002 W. Mifflin Street	-	06/23/04	PA02-41102
TALP1	139170	3004A W. Mifflin Street	A	06/23/04	PA02-40102
TALP1	139171	3004B W. Mifflin Street	B	06/23/04	PA02-40102
TALP1	139168	3006A W. Mifflin Street	A	06/23/04	PA02-40102
TALP1	139169	3006B W. Mifflin Street	B	06/23/04	PA02-40102
TALP1	139167	3008 W. Mifflin Street	-	06/23/04	PA02-39102
TALP1	139166	3010 W. Mifflin Street	-	06/23/04	PA02-39102
TALP1	139165	3012 W. Mifflin Street	-	06/23/04	PA02-38102
TALP1	139164	3014 W. Mifflin Street	-	06/23/04	PA02-38102
TALP1	139163	3016 W. Mifflin Street	-	06/23/04	PA02-37102
TALP1	139162	3018 W. Mifflin Street	-	06/23/04	PA02-37102
TALP1	139161	3020 W. Mifflin Street	-	06/23/04	PA02-36102
TALP1	139160	3022 W. Mifflin Street	-	06/23/04	PA02-36102

TALP1	139159	3024 W. Mifflin Street	-	06/23/04	PA02-35102
TALP1	139158	3026 W. Mifflin Street	-	06/23/04	PA02-35102
TALP1	139157	3028 W. Mifflin Street	-	06/23/04	PA02-34102
TALP1	139156	3030 W. Mifflin Street	-	06/23/04	PA02-34102
TALP1	139155	3032 W. Mifflin Street	-	06/23/04	PA02-33102
TALP1	139154	3034 W. Mifflin Street	-	06/23/04	PA02-33102
MALP1	163048	3421 Wallace Street	A		
MALP1	163049	3421 Wallace Street	B		
MALP1	163050	3421 Wallace Street	C		
MALP2	164001	3501 Wallace Street	A		
MALP2	164002	3501 Wallace Street	B		
MALP2	164003	3501 Wallace Street	C		
MALP1	163001	3502 Fairmount Avenue	A		
MALP1	163002	3502 Fairmount Avenue	B		
MALP1	163003	3502 Fairmount Avenue	C		
MALP1	163004	3502 Fairmount Avenue	D		
MALP2	164004	3503 Wallace Street	A		
MALP2	164005	3503 Wallace Street	B		
MALP2	164006	3503 Wallace Street	C		
MALP2	164007	3505 Wallace Street	A		
MALP2	164008	3505 Wallace Street	B		
MALP2	164009	3505 Wallace Street	C		
MALP1	163005	3506 Fairmount Avenue	A		
MALP1	163006	3506 Fairmount Avenue	B		
MALP1	163007	3506 Fairmount Avenue	C		
MALP1	163008	3506 Fairmount Avenue	D		
MALP2	164010	3507 Wallace Street	A		
MALP2	164011	3507 Wallace Street	B		
MALP2	164012	3507 Wallace Street	C		
MALP2	164013	3509 Wallace Street	A		
MALP2	164014	3509 Wallace Street	B		
MALP1	163009	3510 Fairmount Avenue	A		
MALP1	163010	3510 Fairmount Avenue	B		
MALP1	163011	3510 Fairmount Avenue	C		
MALP1	163012	3510 Fairmount Avenue	D		
MALP2	164015	3511 Wallace Street	A		
MALP2	164016	3511 Wallace Street	B		
MALP2	164017	3513 Wallace Street	A		
MALP2	164018	3513 Wallace Street	B		
MALP1	163013	3514 Fairmount Avenue	A		
MALP1	163014	3514 Fairmount Avenue	B		
MALP1	163015	3514 Fairmount Avenue	C		
MALP2	164019	3515 Wallace Street	A		
MALP2	164020	3515 Wallace Street	B		
MALP2	164021	3517 Wallace Street	A		
MALP2	164022	3517 Wallace Street	B		
MALP1	163016	3518 Fairmount Avenue	A		
MALP1	163017	3518 Fairmount Avenue	B		
MALP1	163018	3518 Fairmount Avenue	C		
MALP1	163019	3518 Fairmount Avenue	D		
MALP2	164023	3519 Wallace Street	A		
MALP2	164024	3519 Wallace Street	B		
MALP2	164025	3521 Wallace Street	A		
MALP2	164026	3521 Wallace Street	B		
MALP1	163020	3522 Fairmount Avenue	A		

MALP1	163021	3522 Fairmount Avenue	B		
MALP1	163022	3522 Fairmount Avenue	C		
MALP1	163023	3522 Fairmount Avenue	D		
MALP2	164027	3523 Wallace Street	A		
MALP2	164028	3523 Wallace Street	B		
MALP2	164029	3523 Wallace Street	C		
MALP1	163024	3526 Fairmount Avenue	A		
MALP1	163025	3526 Fairmount Avenue	B		
MALP1	163026	3526 Fairmount Avenue	C		
MALP1	163027	3526 Fairmount Avenue	D		
MSVLP	156079	4035 Warren Street	A	01/03/08	PA06-12105
MSVLP	156080	4035 Warren Street	B	01/03/08	PA06-12105
MSVLP	156066	4046 Wallace Street	A	11/29/07	PA06-03105
MSVLP	156067	4046 Wallace Street	B	11/29/07	PA06-03105
MSVLP	156068	4048 Wallace Street	A	11/29/07	PA06-03105
MSVLP	156069	4048 Wallace Street	B	11/29/07	PA06-03105
MSVLP	156070	4048 Wallace Street	C	11/29/07	PA06-03105
MSVLP	156071	4050 Wallace Street	A	11/29/07	PA06-03105
MSVLP	156072	4050 Wallace Street	B	11/29/07	PA06-03105
MSVLP	156073	4050 Wallace Street	C	11/29/07	PA06-03105
MSVLP	156074	4060 Wallace Street	A	12/17/07	PA06-04105
MSVLP	156075	4060 Wallace Street	B	12/17/07	PA06-04105
MSVLP	156076	4060 Wallace Street	C	12/17/07	PA06-04105
MSVLP	156022	4061 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156023	4061 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156077	4062 Wallace Street	A	12/17/07	PA06-04105
MSVLP	156078	4062 Wallace Street	B	12/17/07	PA06-04105
MSVLP	156024	4063 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156025	4063 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156026	4065 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156027	4065 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156028	4067 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156029	4067 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156030	4069 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156031	4069 Haverford Ave.	B	01/28/08	PA06-05105
MTOLP	138320	4101 Haverford Avenue	A	11/30/04	PA02-03303
MTOLP	138321	4101 Haverford Avenue	B	11/30/04	PA02-03303
MTOLP	138322	4101 Haverford Avenue	C	11/30/04	PA02-03303
MTOLP	138239	4102 Warren Street	A	12/31/03	PA02-01303
MTOLP	138240	4102 Warren Street	B	12/31/03	PA02-01303
MTOLP	138241	4102 Warren Street	C	12/31/03	PA02-01303
MTOLP	138323	4105 Haverford Avenue	A	11/30/04	PA02-03303
MTOLP	138324	4105 Haverford Avenue	B	11/30/04	PA02-03303
MTOLP	138325	4105 Haverford Avenue	C	11/30/04	PA02-03303
MTOLP	138236	4106 Warren Street	A	12/31/03	PA02-01303
MTOLP	138237	4106 Warren Street	B	12/31/03	PA02-01303
MTOLP	138238	4106 Warren Street	C	12/31/03	PA02-01303
MTOLP	138281	4114 Fairmount Avenue	A	12/31/03	PA02-02303
MTOLP	138282	4114 Fairmount Avenue	B	12/31/03	PA02-02303
MTOLP	138283	4114 Fairmount Avenue	C	12/31/03	PA02-02303
MTOLP	138358	4117 Haverford Avenue	A	09/23/04	PA02-04303
MTOLP	138359	4117 Haverford Avenue	B	09/23/04	PA02-04303
MTOLP	138360	4117 Haverford Avenue	C	09/23/04	PA02-04303
MTOLP	138278	4118 Fairmount Avenue	A	12/31/03	PA02-02303
MTOLP	138279	4118 Fairmount Avenue	B	12/31/03	PA02-02303

MTOLP	138280	4118 Fairmount Avenue	C	12/31/03	PA02-02303
MTOLP	138361	4121 Haverford Avenue	A	09/23/04	PA02-04303
MTOLP	138362	4121 Haverford Avenue	B	09/23/04	PA02-04303
MTOLP	138363	4121 Haverford Avenue	C	09/23/04	PA02-04303
LBLP3	153015	4410 Parrish Street	-	10/31/06	PA05-08440
LBLP3	153016	4412 Parrish Street	-	10/31/06	PA05-08440
LBLP3	153017	4414 Parrish Street	-	10/31/06	PA05-08440
LBLP3	153027	4416 Parrish Street	A	10/31/06	PA05-10440
LBLP3	153028	4416 Parrish Street	B	10/31/06	PA05-10440
LBLP3	153029	4418 Parrish Street	-	10/31/06	PA05-10440
LBLP3	153039	4431 Brown Street	-	11/10/06	PA05-12440
LBLP3	153040	4433 Brown Street	-	11/10/06	PA05-12440
LBLP3	153041	4435 Brown Street	-	11/10/06	PA05-12440
LBLP3	153042	4437 Brown Street	-	11/10/06	PA05-12440
LBLP2	150073	4512 Laird Street	-	11/21/05	PA04-14412
LBLP2	150071	4513 Hoopes Street	-	12/16/05	PA04-13412
LBLP2	150072	4514 Laird Street	-	11/21/05	PA04-14412
LBLP2	150070	4515 Hoopes Street	-	12/16/05	PA04-13412
MCLP1	145030	4530 Brown Street	A	12/22/04	PA03-05407
MCLP1	145031	4530 Brown Street	B	12/22/04	PA03-05407
MCLP1	145028	4534 Brown Street	A	12/22/04	PA03-05407
MCLP1	145029	4534 Brown Street	B	12/22/04	PA03-05407
MCLP1	145024	4600 Brown Street	A	12/22/04	PA03-04407
MCLP1	145025	4600 Brown Street	B	12/22/04	PA03-04407
LBLP2	150026	4600 Westminster Street	A	11/21/05	PA04-04412
LBLP2	150027	4600 Westminster Street	B	11/21/05	PA04-04412
LBLP2	150064	4601 Westminster Street	-	11/21/05	PA04-11412
MCLP1	145026	4602 Brown Street	A	12/22/04	PA03-04407
MCLP1	145027	4602 Brown Street	B	12/22/04	PA03-04407
LBLP2	150025	4602 Westminster Street	-	11/21/05	PA04-04412
LBLP2	150063	4603 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150024	4604 Westminster Street	-	11/21/05	PA04-04412
LBLP2	150062	4605 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150023	4606 Westminster Street	-	11/21/05	PA074-05412
LBLP2	150080	4607 Parrish Street	-	11/21/05	PA04-02412
LBLP2	150061	4607 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150022	4608 Westminster Street	-	11/21/05	PA074-05412
LBLP2	150079	4609 Parish Street	A	11/21/05	PA04-02412
LBLP2	150078	4609 Parrish Street	B	11/21/05	PA04-02412
LBLP2	150060	4609 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150020	4610 Westminster Street	A	11/21/05	PA074-05412
LBLP2	150021	4610 Westminster Street	B	11/21/05	PA074-05412
LBLP2	150001	4611 Parrish Street	A	11/21/05	PA04-01412
LBLP2	150002	4611 Parrish Street	B	11/21/05	PA04-01412
LBLP2	150059	4611 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150003	4613 Parrish Street	-	11/21/05	PA04-01412
LBLP2	150058	4613 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150004	4615 Parrish Street	-	11/21/05	PA04-01412
LBLP2	150057	4615 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150005	4617 Parrish Street	-	11/21/05	PA04-01412
LBLP2	150056	4617 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150055	4619 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150037	4620 Ogden Street	-	01/18/06	PA04-08412
LBLP2	150036	4621 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150054	4621 Westminster Street	-	11/21/05	PA04-11412

LBLP2	150035	4623 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150034	4625 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150033	4627 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150032	4629 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150053	4647 Westminster Street	-	01/18/06	PA04-10412
LBLP2	150052	4649 Westminster Street	-	01/18/06	PA04-10412
LBLP2	150051	4651 Westminster Street	-	01/18/06	PA04-10412
GHLP1	152001	5457 Wayne Avenue	103	08/15/06	PA04-00442
GHLP1	152002	5457 Wayne Avenue	104	08/15/06	PA04-00442
GHLP1	152003	5457 Wayne Avenue	105	08/15/06	PA04-00442
GHLP1	152004	5457 Wayne Avenue	106	08/15/06	PA04-00442
GHLP1	152005	5457 Wayne Avenue	107	08/15/06	PA04-00442
GHLP1	152006	5457 Wayne Avenue	108	08/15/06	PA04-00442
GHLP1	152007	5457 Wayne Avenue	109	08/15/06	PA04-00442
GHLP1	152008	5457 Wayne Avenue	201	08/15/06	PA04-00442
GHLP1	152009	5457 Wayne Avenue	202	08/15/06	PA04-00442
GHLP1	152010	5457 Wayne Avenue	203	08/15/06	PA04-00442
GHLP1	152011	5457 Wayne Avenue	204	08/15/06	PA04-00442
GHLP1	152012	5457 Wayne Avenue	205	08/15/06	PA04-00442
GHLP1	152013	5457 Wayne Avenue	206	08/15/06	PA04-00442
GHLP1	152014	5457 Wayne Avenue	207	08/15/06	PA04-00442
GHLP1	152015	5457 Wayne Avenue	208	08/15/06	PA04-00442
GHLP1	152016	5457 Wayne Avenue	209	08/15/06	PA04-00442
GHLP1	152017	5457 Wayne Avenue	210	08/15/06	PA04-00442
GHLP1	152018	5457 Wayne Avenue	211	08/15/06	PA04-00442
GHLP1	152019	5457 Wayne Avenue	212	08/15/06	PA04-00442
GHLP1	152020	5457 Wayne Avenue	213	08/15/06	PA04-00442
GHLP1	152021	5457 Wayne Avenue	214	08/15/06	PA04-00442
GHLP1	152022	5457 Wayne Avenue	215	08/15/06	PA04-00442
GHLP1	152023	5457 Wayne Avenue	216	08/15/06	PA04-00442
GHLP1	152024	5457 Wayne Avenue	217	08/15/06	PA04-00442
GHLP1	152025	5457 Wayne Avenue	218	08/15/06	PA04-00442
GHLP1	152026	5457 Wayne Avenue	301	08/15/06	PA04-00442
GHLP1	152027	5457 Wayne Avenue	302	08/15/06	PA04-00442
GHLP1	152028	5457 Wayne Avenue	303	08/15/06	PA04-00442
GHLP1	152029	5457 Wayne Avenue	304	08/15/06	PA04-00442
GHLP1	152030	5457 Wayne Avenue	305	08/15/06	PA04-00442
GHLP1	152031	5457 Wayne Avenue	306	08/15/06	PA04-00442
GHLP1	152032	5457 Wayne Avenue	307	08/15/06	PA04-00442
GHLP1	152033	5457 Wayne Avenue	308	08/15/06	PA04-00442
GHLP1	152034	5457 Wayne Avenue	309	08/15/06	PA04-00442
GHLP1	152035	5457 Wayne Avenue	310	08/15/06	PA04-00442
GHLP1	152036	5457 Wayne Avenue	311	08/15/06	PA04-00442
GHLP1	152037	5457 Wayne Avenue	312	08/15/06	PA04-00442
GHLP1	152038	5457 Wayne Avenue	313	08/15/06	PA04-00442
GHLP1	152039	5457 Wayne Avenue	314	08/15/06	PA04-00442
GHLP1	152040	5457 Wayne Avenue	315	08/15/06	PA04-00442
GHLP1	152041	5457 Wayne Avenue	316	08/15/06	PA04-00442
GHLP1	152042	5457 Wayne Avenue	317	08/15/06	PA04-00442
GHLP1	152043	5457 Wayne Avenue	318	08/15/06	PA04-00442
GHLP1	152044	5457 Wayne Avenue	401	08/15/06	PA04-00442
GHLP1	152045	5457 Wayne Avenue	402	08/15/06	PA04-00442
GHLP1	152046	5457 Wayne Avenue	403	08/15/06	PA04-00442
GHLP1	152047	5457 Wayne Avenue	404	08/15/06	PA04-00442
GHLP1	152048	5457 Wayne Avenue	405	08/15/06	PA04-00442

GHLP1	152049	5457 Wayne Avenue	406	08/15/06	PA04-00442
GHLP1	152050	5457 Wayne Avenue	407	08/15/06	PA04-00442
GHLP1	152051	5457 Wayne Avenue	408	08/15/06	PA04-00442
GHLP1	152052	5457 Wayne Avenue	409	08/15/06	PA04-00442
GHLP1	152053	5457 Wayne Avenue	410	08/15/06	PA04-00442
GHLP1	152054	5457 Wayne Avenue	411	08/15/06	PA04-00442
GHLP1	152055	5457 Wayne Avenue	412	08/15/06	PA04-00442
GHLP1	152056	5457 Wayne Avenue	413	08/15/06	PA04-00442
GHLP1	152057	5457 Wayne Avenue	414	08/15/06	PA04-00442
GHLP1	152058	5457 Wayne Avenue	415	08/15/06	PA04-00442
GHLP1	152059	5457 Wayne Avenue	416	08/15/06	PA04-00442
GHLP1	152060	5457 Wayne Avenue	417	08/15/06	PA04-00442
GHLP1	152061	5457 Wayne Avenue	418	08/15/06	PA04-00442
GHLP1	152062	5457 Wayne Avenue	501	08/15/06	PA04-00442
GHLP1	152063	5457 Wayne Avenue	502	08/15/06	PA04-00442
GHLP1	152064	5457 Wayne Avenue	503	08/15/06	PA04-00442
GHLP1	152065	5457 Wayne Avenue	504	08/15/06	PA04-00442
GHLP1	152066	5457 Wayne Avenue	505	08/15/06	PA04-00442
GHLP1	152067	5457 Wayne Avenue	506	08/15/06	PA04-00442
GHLP1	152068	5457 Wayne Avenue	507	08/15/06	PA04-00442
GHLP1	152069	5457 Wayne Avenue	508	08/15/06	PA04-00442
GHLP1	152070	5457 Wayne Avenue	509	08/15/06	PA04-00442
GHLP1	152071	5457 Wayne Avenue	510	08/15/06	PA04-00442
GHLP1	152072	5457 Wayne Avenue	511	08/15/06	PA04-00442
GHLP1	152073	5457 Wayne Avenue	512	08/15/06	PA04-00442
GHLP1	152074	5457 Wayne Avenue	513	08/15/06	PA04-00442
GHLP1	152075	5457 Wayne Avenue	514	08/15/06	PA04-00442
GHLP1	152076	5457 Wayne Avenue	515	08/15/06	PA04-00442
GHLP1	152077	5457 Wayne Avenue	516	08/15/06	PA04-00442
GHLP1	152078	5457 Wayne Avenue	517	08/15/06	PA04-00442
GHLP1	152079	5457 Wayne Avenue	518	08/15/06	PA04-00442
GHLP1	152080	5457 Wayne Avenue	601	08/15/06	PA04-00442
GHLP1	152081	5457 Wayne Avenue	602	08/15/06	PA04-00442
GHLP1	152082	5457 Wayne Avenue	603	08/15/06	PA04-00442
GHLP1	152083	5457 Wayne Avenue	604	08/15/06	PA04-00442
GHLP1	152084	5457 Wayne Avenue	605	08/15/06	PA04-00442
GHLP1	152085	5457 Wayne Avenue	606	08/15/06	PA04-00442
GHLP1	152086	5457 Wayne Avenue	607	08/15/06	PA04-00442
GHLP1	152087	5457 Wayne Avenue	608	08/15/06	PA04-00442
GHLP1	152088	5457 Wayne Avenue	609	08/15/06	PA04-00442
GHLP1	152089	5457 Wayne Avenue	610	08/15/06	PA04-00442
GHLP1	152090	5457 Wayne Avenue	611	08/15/06	PA04-00442
GHLP1	152091	5457 Wayne Avenue	612	08/15/06	PA04-00442
GHLP1	152092	5457 Wayne Avenue	613	08/15/06	PA04-00442
GHLP1	152093	5457 Wayne Avenue	614	08/15/06	PA04-00442
GHLP1	152094	5457 Wayne Avenue	615	08/15/06	PA04-00442
GHLP1	152095	5457 Wayne Avenue	616	08/15/06	PA04-00442
GHLP1	152096	5457 Wayne Avenue	617	08/15/06	PA04-00442
GHLP1	152097	5457 Wayne Avenue	618	08/15/06	PA04-00442
GHLP1	152098	5457 Wayne Avenue	701	08/15/06	PA04-00442
GHLP1	152099	5457 Wayne Avenue	702	08/15/06	PA04-00442
GHLP1	152100	5457 Wayne Avenue	703	08/15/06	PA04-00442
GHLP1	152101	5457 Wayne Avenue	704	08/15/06	PA04-00442
GHLP1	152102	5457 Wayne Avenue	705	08/15/06	PA04-00442
GHLP1	152103	5457 Wayne Avenue	706	08/15/06	PA04-00442

GHLP1	152104	5457 Wayne Avenue	707	08/15/06	PA04-00442
GHLP1	152105	5457 Wayne Avenue	708	08/15/06	PA04-00442
GHLP1	152106	5457 Wayne Avenue	709	08/15/06	PA04-00442
GHLP1	152107	5457 Wayne Avenue	710	08/15/06	PA04-00442
GHLP1	152108	5457 Wayne Avenue	711	08/15/06	PA04-00442
GHLP1	152109	5457 Wayne Avenue	712	08/15/06	PA04-00442
GHLP1	152110	5457 Wayne Avenue	713	08/15/06	PA04-00442
GHLP1	152111	5457 Wayne Avenue	714	08/15/06	PA04-00442
GHLP1	152112	5457 Wayne Avenue	715	08/15/06	PA04-00442
GHLP1	152113	5457 Wayne Avenue	716	08/15/06	PA04-00442
GHLP1	152114	5457 Wayne Avenue	717	08/15/06	PA04-00442
GHLP1	152115	5457 Wayne Avenue	718	08/15/06	PA04-00442
GHLP1	152116	5457 Wayne Avenue	801	08/15/06	PA04-00442
GHLP1	152117	5457 Wayne Avenue	802	08/15/06	PA04-00442
GHLP1	152118	5457 Wayne Avenue	803	08/15/06	PA04-00442
GHLP1	152119	5457 Wayne Avenue	804	08/15/06	PA04-00442
GHLP1	152120	5457 Wayne Avenue	805	08/15/06	PA04-00442
GHLP1	152121	5457 Wayne Avenue	806	08/15/06	PA04-00442
GHLP1	152122	5457 Wayne Avenue	807	08/15/06	PA04-00442
GHLP1	152123	5457 Wayne Avenue	808	08/15/06	PA04-00442
GHLP1	152124	5457 Wayne Avenue	809	08/15/06	PA04-00442
GHLP1	152125	5457 Wayne Avenue	810	08/15/06	PA04-00442
GHLP1	152126	5457 Wayne Avenue	811	08/15/06	PA04-00442
GHLP1	152127	5457 Wayne Avenue	812	08/15/06	PA04-00442
GHLP1	152128	5457 Wayne Avenue	813	08/15/06	PA04-00442
GHLP1	152129	5457 Wayne Avenue	814	08/15/06	PA04-00442
GHLP1	152130	5457 Wayne Avenue	815	08/15/06	PA04-00442
GHLP1	152131	5457 Wayne Avenue	816	08/15/06	PA04-00442
GHLP1	152132	5457 Wayne Avenue	817	08/15/06	PA04-00442
GHLP1	152133	5457 Wayne Avenue	818	08/15/06	PA04-00442
PALP2	174019	7129 Greenway Avenue	A		
PALP2	174020	7129 Greenway Avenue	B		
PALP2	174021	7131 Greenway Avenue			
PALP2	174022	7133 Greenway Avenue			
PALP2	174023	7135 Greenway Avenue			
PALP2	174024	7137 Greenway Avenue			
PALP2	174025	7139 Greenway Avenue			
PALP2	174026	7141 Greenway Avenue			
PALP2	174027	7143 Greenway Avenue			
PALP2	174028	7145 Greenway Avenue			
PALP2	174029	7147 Greenway Avenue			
PALP2	174030	7149 Greenway Avenue	A		
PALP2	174031	7149 Greenway Avenue	B		
PALP2	174039	7153 Greenway Avenue			
PALP2	174040	7155 Greenway Avenue			
PALP2	174041	7157 Greenway Avenue			
PALP2	174042	7159 Greenway Avenue			
PALP2	174043	7161 Greenway Avenue			
PALP2	174044	7163 Greenway Avenue			
PALP2	174045	7165 Greenway Avenue			
PALP2	174046	7167 Greenway Avenue			
PALP2	174047	7169 Greenway Avenue			
PALP2	174048	7171 Greenway Avenue			
PALP2	174049	7173 Greenway Avenue			
PALP2	174050	7175 Greenway Avenue			

PALP1	office	7200 Woodland Avenue		n/a	n/a
PALP2	174032	7201 Greenway Avenue	A		
PALP2	174033	7201 Greenway Avenue	B		
PALP2	174034	7203 Greenway Avenue			
PALP2	174035	7205 Greenway Avenue			
PALP2	174036	7207 Greenway Avenue			
PALP1	173001	7208 Woodland Avenue	A	11/02/11	
PALP1	173002	7208 Woodland Avenue	B	11/02/11	
PALP2	174037	7209 Greenway Avenue			
PALP1	173034	7210 Saybrook Avenue		09/29/11	
PALP1	173003	7210 Woodland Avenue		11/02/11	
PALP2	174038	7211 Greenway Avenue			
PALP2	174001	7211 Paschall Avenue	A		
PALP2	174002	7211 Paschall Avenue	B		
PALP1	173020	7211 Saybrook Avenue		10/11/11	
PALP1	173035	7212 Saybrook Avenue		09/29/11	
PALP1	173004	7212 Woodland Avenue		11/02/11	
PALP2	174003	7213 Paschall Avenue			
PALP1	173021	7213 Saybrook Avenue		10/11/11	
PALP1	173036	7214 Saybrook Avenue	A	10/04/11	
PALP1	173037	7214 Saybrook Avenue	B	10/04/11	
PALP1	173005	7214 Woodland Avenue		11/02/11	
PALP2	174004	7215 Paschall Avenue			
PALP1	173022	7215 Saybrook Avenue		10/11/11	
PALP1	173038	7216 Saybrook Avenue	A	10/04/11	
PALP1	173039	7216 Saybrook Avenue	B	10/04/11	
PALP2	174005	7217 Paschall Avenue	A		
PALP2	174006	7217 Paschall Avenue	B		
PALP1	173023	7217 Saybrook Avenue		10/11/11	
PALP1	173040	7218 Saybrook Avenue		10/05/11	
PALP2	174007	7219 Paschall Avenue	A		
PALP2	174008	7219 Paschall Avenue	B		
PALP1	173024	7219 Saybrook Avenue		10/12/11	
PALP1	173041	7220 Saybrook Avenue		10/05/11	
PALP2	174009	7221 Paschall Avenue	A		
PALP2	174010	7221 Paschall Avenue	B		
PALP1	173025	7221 Saybrook Avenue		10/12/11	
PALP1	173042	7222 Saybrook Avenue	A	10/05/11	
PALP1	173043	7222 Saybrook Avenue	B	10/05/11	
PALP2	174011	7223 Paschall Avenue	A		
PALP2	174012	7223 Paschall Avenue	B		
PALP1	173026	7223 Saybrook Avenue		10/12/11	
PALP1	173044	7224 Saybrook Avenue	A	10/05/11	
PALP1	173045	7224 Saybrook Avenue	B	10/05/11	
PALP2	174013	7225 Paschall Avenue			
PALP1	173027	7225 Saybrook Avenue		10/12/11	
PALP1	173046	7226 Saybrook Avenue		10/06/11	
PALP2	174014	7227 Paschall Avenue			
PALP1	173028	7227 Saybrook Avenue		10/16/11	
PALP1	173047	7228 Saybrook Avenue		10/06/11	
PALP2	174015	7229 Paschall Avenue	A		
PALP2	174016	7229 Paschall Avenue	B		
PALP1	173029	7229 Saybrook Avenue		10/16/11	
PALP1	173048	7230 Saybrook Avenue		10/06/11	
PALP2	174017	7231 Paschall Avenue	A		

PALP2	174018	7231 Paschall Avenue	B	
PALP1	173030	7231 Saybrook Avenue		10/19/11
PALP1	173049	7232 Saybrook Avenue	A	10/06/11
PALP1	173050	7232 Saybrook Avenue	B	10/06/11
PALP1	173031	7233 Saybrook Avenue		10/19/11
PALP1	173032	7235 Saybrook Avenue	A	10/19/11
PALP1	173033	7235 Saybrook Avenue	B	10/19/11

Trash violations 4/6/10 - 2/11/09 - 3/22/11

Limited Partnership	Code
Cambridge Plaza LP	CPLP1
Cambridge II LP	CPLP2
Cambridge III LP	CPLP3
Germantown House LP	GHLP1
Mill Creek LP	MCLP1
Lucien E Blackwell 2 LP	LBLP2
Lucien E Blackwell 3 LP	LBLP3
Ludlow Scattered Sites 3 LP	LLSS3
Mantua I LP	MALP1
Mantua II LP	MALP2
Marshall Shepard Village LP	MSVLP
Martin Luther King 4 LP	MLKLP
Mt. Olivet LP	MTOLP
Nellie Reynolds Gardens LP	NRGLP
Norris Apartments LP	NORLP
Paschall I LP	PALP1
Paschall II LP	PALP2
Richard Allen III LP	RALP3
Suffolk Manor LP	SMLP1
Tasker I LP	TALP1
Tasker II LP	TALP2
Warnock I LP	WNLP1
Warnock II LP	WNLP2

LP	Unit #	Address	APT. #	PIS	EIN
CPLP1	137036	902 Percy Street	-	9/30/03	PA01-07435
CPLP1	137029	903 N. 10th Street	-	9/30/03	PA01-13435
CPLP1	137028	906 Percy Street	-	9/30/03	PA01-08435
CPLP1	137021	907 N. 10th Street	-	9/30/03	PA01-14435
CPLP1	137007	908 N. 10th Street	A	8/29/03	PA01-19435
CPLP1	137008	908 N. 10th Street	B	8/29/03	PA01-19435
CPLP1	137020	908 Percy Street	-	9/30/03	PA01-01435
CPLP1	137013	909 N. 10th Street	-	9/30/03	PA01-06435
CPLP1	137005	910 N. 10th Street	A	8/29/03	PA01-20435
CPLP1	137006	910 N. 10th Street	B	8/29/03	PA01-20435
CPLP1	137012	912 Percy Street	-	9/30/03	PA01-02435
CPLP1	137003	914 N. 10th Street	A	8/29/03	PA01-21435
CPLP1	137004	914 N. 10th Street	B	8/29/03	PA01-21435
CPLP1	137043	915 Poplar Street	A	9/30/03	PA01-15435
CPLP1	137044	915 Poplar Street	B	9/30/03	PA01-15435
CPLP1	137019	916 Cambridge Street	-	9/30/03	PA01-01435
CPLP1	137001	916 N. 10th Street	A	8/29/03	PA01-22435
CPLP1	137002	916 N. 10th Street	B	8/29/03	PA01-22435
CPLP1	137035	916 W. George Street	-	9/30/03	PA01-07435
CPLP1	137011	917 Cambridge Street	-	9/30/03	PA01-02435
CPLP1	137041	917 Poplar Street	A	9/30/03	PA01-16435
CPLP1	137042	917 Poplar Street	B	9/30/03	PA01-16435
CPLP1	137027	917 W. George Street	-	9/30/03	PA01-08435
CPLP1	137018	918 Cambridge Street	-	9/30/03	PA01-03435
CPLP1	137034	918 W. George Street	-	9/30/03	PA01-09435
CPLP1	137010	919 Cambridge Street	-	9/30/03	PA01-04435
CPLP1	137039	919 Poplar Street	A	9/30/03	PA01-17435
CPLP1	137040	919 Poplar Street	B	9/30/03	PA01-17435
CPLP1	137026	919 W. George Street	-	9/30/03	PA01-10435
CPLP1	137017	920 Cambridge Street	-	9/30/03	PA01-03435
CPLP1	137033	920 W. George Street	-	9/30/03	PA01-09435
CPLP1	137009	921 Cambridge Street	-	9/30/03	PA01-04435
CPLP1	137037	921 Poplar Street	A	9/30/03	PA01-18435
CPLP1	137038	921 Poplar Street	B	9/30/03	PA01-18435
CPLP1	137025	921 W. George Street	-	9/30/03	PA01-10435
CPLP1	137016	922 Cambridge Street	-	9/30/03	PA01-05435
CPLP1	137032	922 W. George Street	-	9/30/03	PA01-11435
CPLP1	137024	923 W. George Street	-	9/30/03	PA01-12435
CPLP1	137015	924 Cambridge Street	-	9/30/03	PA01-05435
CPLP1	137031	924 W. George Street	-	9/30/03	PA01-11435
CPLP1	137023	925 W. George Street	-	9/30/03	PA01-12435
CPLP1	137014	926 Cambridge Street	-	9/30/03	PA01-06435
CPLP1	137030	926 W. George Street	-	9/30/03	PA01-13435
CPLP1	137022	927 W. George Street	-	9/30/03	PA01-14435

LP	Unit #	Address	Apt. #	PIS	BIN
CPLP2	129001	1006 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129028	1007 Cambridge Street	-	08/17/04	PA02-02411
CPLP2	129002	1008 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129027	1009 Cambridge Street	-	08/17/04	PA02-02411
CPLP2	129003	1010 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129026	1011 Cambridge Street	-	08/17/04	PA02-02411
CPLP2	129004	1012 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129025	1013 Cambridge Street	-	08/17/04	PA02-02411
CPLP2	129005	1014 Cambridge Street	-	08/17/04	PA02-01411
CPLP2	129024	1015 Cambridge Street	-	08/17/04	PA02-02411
CPLP2	129006	1016 Cambridge Street	-	08/23/04	PA02-03411
CPLP2	129023	1017 Cambridge Street	-	08/23/04	PA02-04411
CPLP2	129007	1018 Cambridge Street	-	08/23/04	PA02-03411
CPLP2	129022	1019 Cambridge Street	-	08/23/04	PA02-04411
CPLP2	129008	1020 Cambridge Street	-	08/23/04	PA02-03411
CPLP2	129021	1021 Cambridge Street	-	08/23/04	PA02-04411
CPLP2	129009	1022 Cambridge Street	-	08/23/04	PA02-03411
CPLP2	129020	1023 Cambridge Street	-	08/23/04	PA02-04411
CPLP2	129010	1024 Cambridge Street	-	08/23/04	PA02-03411
CPLP2	129019	1025 Cambridge Street	-	08/23/04	PA02-04411
CPLP2	129014	1026 Cambridge Street	-	09/14/04	PA02-06411
CPLP2	129015	1027 Cambridge Street	-	09/14/04	PA02-07411
CPLP2	129040	1100 Harper Street	-	09/29/04	PA02-14411
CPLP2	129029	1101 Poplar Street	-	09/24/04	PA02-09411
CPLP2	129030	902 11th Street	-	09/24/04	PA02-09411
CPLP2	129031	904 11th Street	-	09/24/04	PA02-10411
CPLP2	129032	906 11th Street	-	09/24/04	PA02-10411
CPLP2	129011	907 11th Street	-	09/14/04	PA02-05411
CPLP2	129033	908 11th Street	-	10/08/04	PA02-11411
CPLP2	129012	909 11th Street	-	09/14/04	PA02-05411
CPLP2	129034	910 11th Street	-	10/08/04	PA02-11411
CPLP2	129013	911 11th Street	-	09/14/04	PA02-06411
CPLP2	129035	912 11th Street	-	10/08/04	PA02-12411
CPLP2	129036	914 11th Street	-	10/08/04	PA02-12411
CPLP2	129037	916 11th Street	-	09/24/04	PA02-13411
CPLP2	129038	918 11th Street	-	09/24/04	PA02-13411
CPLP2	129016	919 11th Street	-	09/14/04	PA02-07411
CPLP2	129039	920 11th Street	-	09/29/04	PA02-14411
CPLP2	129017	921 11th Street	-	09/14/04	PA02-08411
CPLP2	129018	923 11th Street	-	09/14/04	PA02-08411

LP	Unit #	Address	Apt. #	PIS	BIN
CPLP3	147028	1105 Poplar Street	-	05/26/05	PA03-08428
CPLP3	147040	1106 Harper Street	-	06/09/05	PA03-14428
CPLP3	147029	1107 Poplar Street	-	06/09/05	PA03-09428
CPLP3	147001	901 Marvine Street	-	05/24/05	PA03-01428
CPLP3	147027	902 Marvine Street	-	05/26/05	PA03-08428
CPLP3	147002	903 Marvine Street	-	05/24/05	PA03-01428
CPLP3	147030	903 N. 12th Street	-	06/09/05	PA03-09428
CPLP3	147026	904 Marvine Street	-	05/26/05	PA03-07428
CPLP3	147003	905 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147031	905 N. 12th Street	-	06/09/05	PA03-10428
CPLP3	147025	906 Marvine Street	-	05/26/05	PA03-07428
CPLP3	147004	907 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147032	907 N. 12th Street	-	06/09/05	PA03-10428
CPLP3	147024	908 Marvine Street	-	05/26/05	PA03-07428
CPLP3	147005	909 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147033	909 N. 12th Street	-	06/09/05	PA03-11428
CPLP3	147023	910 Marvine Street	-	05/26/05	PA03-07428
CPLP3	147006	911 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147034	911 N. 12th Street	-	06/09/05	PA03-11428
CPLP3	147022	912 Marvine Street	-	05/26/05	PA03-07428
CPLP3	147007	913 Marvine Street	-	05/24/05	PA03-02428
CPLP3	147035	913 N. 12th Street	-	06/09/05	PA03-12428
CPLP3	147021	914 Marvine Street	-	05/26/05	PA03-06428
CPLP3	147008	915 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147036	915 N. 12th Street	-	06/09/05	PA03-12428
CPLP3	147020	916 Marvine Street	-	05/26/05	PA03-06428
CPLP3	147009	917 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147037	917 N. 12th Street	-	06/09/05	PA03-13428
CPLP3	147019	918 Marvine Street	-	05/26/05	PA03-06428
CPLP3	147010	919 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147038	919 N. 12th Street	-	06/09/05	PA03-13428
CPLP3	147018	920 Marvine Street	-	05/26/05	PA03-06428
CPLP3	147011	921 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147039	921 N. 12th Street	-	06/09/05	PA03-14428
CPLP3	147017	922 Marvine Street	-	05/26/05	PA03-06428
CPLP3	147012	923 Marvine Street	-	05/24/05	PA03-03428
CPLP3	147016	924 Marvine Street	-	05/26/05	PA03-05428
CPLP3	147013	925 Marvine Street	-	05/24/05	PA03-04428
CPLP3	147015	926 Marvine Street	-	05/26/05	PA03-05428
CPLP3	147014	927 Marvine Street	-	05/24/05	PA03-04428

LP	Unit #	Address	Apt. #	PIS	BIN
GHLP1	152001	5457 Wayne Avenue	103	08/15/06	PA04-00442
GHLP1	152002	5457 Wayne Avenue	104	08/15/06	PA04-00442
GHLP1	152003	5457 Wayne Avenue	105	08/15/06	PA04-00442
GHLP1	152004	5457 Wayne Avenue	106	08/15/06	PA04-00442
GHLP1	152005	5457 Wayne Avenue	107	08/15/06	PA04-00442
GHLP1	152006	5457 Wayne Avenue	108	08/15/06	PA04-00442
GHLP1	152007	5457 Wayne Avenue	109	08/15/06	PA04-00442
GHLP1	152008	5457 Wayne Avenue	201	08/15/06	PA04-00442
GHLP1	152009	5457 Wayne Avenue	202	08/15/06	PA04-00442
GHLP1	152010	5457 Wayne Avenue	203	08/15/06	PA04-00442
GHLP1	152011	5457 Wayne Avenue	204	08/15/06	PA04-00442
GHLP1	152012	5457 Wayne Avenue	205	08/15/06	PA04-00442
GHLP1	152013	5457 Wayne Avenue	206	08/15/06	PA04-00442
GHLP1	152014	5457 Wayne Avenue	207	08/15/06	PA04-00442
GHLP1	152015	5457 Wayne Avenue	208	08/15/06	PA04-00442
GHLP1	152016	5457 Wayne Avenue	209	08/15/06	PA04-00442
GHLP1	152017	5457 Wayne Avenue	210	08/15/06	PA04-00442
GHLP1	152018	5457 Wayne Avenue	211	08/15/06	PA04-00442
GHLP1	152019	5457 Wayne Avenue	212	08/15/06	PA04-00442
GHLP1	152020	5457 Wayne Avenue	213	08/15/06	PA04-00442
GHLP1	152021	5457 Wayne Avenue	214	08/15/06	PA04-00442
GHLP1	152022	5457 Wayne Avenue	215	08/15/06	PA04-00442
GHLP1	152023	5457 Wayne Avenue	216	08/15/06	PA04-00442
GHLP1	152024	5457 Wayne Avenue	217	08/15/06	PA04-00442
GHLP1	152025	5457 Wayne Avenue	218	08/15/06	PA04-00442
GHLP1	152026	5457 Wayne Avenue	301	08/15/06	PA04-00442
GHLP1	152027	5457 Wayne Avenue	302	08/15/06	PA04-00442
GHLP1	152028	5457 Wayne Avenue	303	08/15/06	PA04-00442
GHLP1	152029	5457 Wayne Avenue	304	08/15/06	PA04-00442
GHLP1	152030	5457 Wayne Avenue	305	08/15/06	PA04-00442
GHLP1	152031	5457 Wayne Avenue	306	08/15/06	PA04-00442
GHLP1	152032	5457 Wayne Avenue	307	08/15/06	PA04-00442
GHLP1	152033	5457 Wayne Avenue	308	08/15/06	PA04-00442
GHLP1	152034	5457 Wayne Avenue	309	08/15/06	PA04-00442
GHLP1	152035	5457 Wayne Avenue	310	08/15/06	PA04-00442
GHLP1	152036	5457 Wayne Avenue	311	08/15/06	PA04-00442
GHLP1	152037	5457 Wayne Avenue	312	08/15/06	PA04-00442
GHLP1	152038	5457 Wayne Avenue	313	08/15/06	PA04-00442
GHLP1	152039	5457 Wayne Avenue	314	08/15/06	PA04-00442
GHLP1	152040	5457 Wayne Avenue	315	08/15/06	PA04-00442
GHLP1	152041	5457 Wayne Avenue	316	08/15/06	PA04-00442
GHLP1	152042	5457 Wayne Avenue	317	08/15/06	PA04-00442
GHLP1	152043	5457 Wayne Avenue	318	08/15/06	PA04-00442
GHLP1	152044	5457 Wayne Avenue	401	08/15/06	PA04-00442
GHLP1	152045	5457 Wayne Avenue	402	08/15/06	PA04-00442
GHLP1	152046	5457 Wayne Avenue	403	08/15/06	PA04-00442
GHLP1	152047	5457 Wayne Avenue	404	08/15/06	PA04-00442
GHLP1	152048	5457 Wayne Avenue	405	08/15/06	PA04-00442
GHLP1	152049	5457 Wayne Avenue	406	08/15/06	PA04-00442
GHLP1	152050	5457 Wayne Avenue	407	08/15/06	PA04-00442
GHLP1	152051	5457 Wayne Avenue	408	08/15/06	PA04-00442

GHLP1	152104	5457 Wayne Avenue	707	08/15/06	PA04-00442
GHLP1	152105	5457 Wayne Avenue	708	08/15/06	PA04-00442
GHLP1	152106	5457 Wayne Avenue	709	08/15/06	PA04-00442
GHLP1	152107	5457 Wayne Avenue	710	08/15/06	PA04-00442
GHLP1	152108	5457 Wayne Avenue	711	08/15/06	PA04-00442
GHLP1	152109	5457 Wayne Avenue	712	08/15/06	PA04-00442
GHLP1	152110	5457 Wayne Avenue	713	08/15/06	PA04-00442
GHLP1	152111	5457 Wayne Avenue	714	08/15/06	PA04-00442
GHLP1	152112	5457 Wayne Avenue	715	08/15/06	PA04-00442
GHLP1	152113	5457 Wayne Avenue	716	08/15/06	PA04-00442
GHLP1	152114	5457 Wayne Avenue	717	08/15/06	PA04-00442
GHLP1	152115	5457 Wayne Avenue	718	08/15/06	PA04-00442
GHLP1	152116	5457 Wayne Avenue	801	08/15/06	PA04-00442
GHLP1	152117	5457 Wayne Avenue	802	08/15/06	PA04-00442
GHLP1	152118	5457 Wayne Avenue	803	08/15/06	PA04-00442
GHLP1	152119	5457 Wayne Avenue	804	08/15/06	PA04-00442
GHLP1	152120	5457 Wayne Avenue	805	08/15/06	PA04-00442
GHLP1	152121	5457 Wayne Avenue	806	08/15/06	PA04-00442
GHLP1	152122	5457 Wayne Avenue	807	08/15/06	PA04-00442
GHLP1	152123	5457 Wayne Avenue	808	08/15/06	PA04-00442
GHLP1	152124	5457 Wayne Avenue	809	08/15/06	PA04-00442
GHLP1	152125	5457 Wayne Avenue	810	08/15/06	PA04-00442
GHLP1	152126	5457 Wayne Avenue	811	08/15/06	PA04-00442
GHLP1	152127	5457 Wayne Avenue	812	08/15/06	PA04-00442
GHLP1	152128	5457 Wayne Avenue	813	08/15/06	PA04-00442
GHLP1	152129	5457 Wayne Avenue	814	08/15/06	PA04-00442
GHLP1	152130	5457 Wayne Avenue	815	08/15/06	PA04-00442
GHLP1	152131	5457 Wayne Avenue	816	08/15/06	PA04-00442
GHLP1	152132	5457 Wayne Avenue	817	08/15/06	PA04-00442
GHLP1	152133	5457 Wayne Avenue	818	08/15/06	PA04-00442

LP	Unit #	Address	Apt. #	PIS	BIN#
MCLP1	145030	4530 Brown Street	A	12/22/04	PA03-05407
MCLP1	145031	4530 Brown Street	B	12/22/04	PA03-05407
MCLP1	145028	4534 Brown Street	A	12/22/04	PA03-05407
MCLP1	145029	4534 Brown Street	B	12/22/04	PA03-05407
MCLP1	145024	4600 Brown Street	A	12/22/04	PA03-04407
MCLP1	145025	4600 Brown Street	B	12/22/04	PA03-04407
MCLP1	145026	4602 Brown Street	A	12/22/04	PA03-04407
MCLP1	145027	4602 Brown Street	B	12/22/04	PA03-04407
MCLP1	145055	700 N. 46th Street	A	12/31/04	PA03-09407
MCLP1	145056	700 N. 46th Street	B	12/31/04	PA03-09407
MCLP1	145057	700 N. 46th Street	C	12/31/04	PA03-09407
MCLP1	145079	701 N. 46th Street	B	01/31/05	PA03-14407
MCLP1	145080	701 N. 46th Street	C	01/31/05	PA03-14407
MCLP1	145078	701 N.46th Street	A	01/31/05	PA03-14407
MCLP1	145077	711 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145058	712 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145076	713 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145059	714 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145075	715 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145060	716 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145074	717 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145061	718 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145073	719 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145062	720 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145072	721 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145063	722 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145071	723 N. 46th Street	-	12/29/04	PA03-13407
MCLP1	145064	724 N. 46th Street	-	12/22/04	PA03-10407
MCLP1	145068	725 N. 46th Street	A	12/31/04	PA03-12407
MCLP1	145069	725 N. 46th Street	B	12/31/04	PA03-12407
MCLP1	145070	725 N. 46th Street	C	12/31/04	PA03-12407
MCLP1	145066	726 N. 46th Street	B	12/31/04	PA03-11407
MCLP1	145065	726 N. 46th Street	A	12/31/04	PA03-11407
MCLP1	145067	726 N. 46th Street	C	12/31/04	PA03-11407
MCLP1	145014	727 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145013	729 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145041	730 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145012	731 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145011	733 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145042	734 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145039	735 N. 46th Street	A	12/22/04	PA03-07407
MCLP1	145040	735 N. 46th Street	B	12/22/04	PA03-07407
MCLP1	145010	735 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145043	736 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145015	736 N. 46th Street	A	12/22/04	PA03-02407
MCLP1	145016	736 N. 46th Street	B	12/22/04	PA03-02407
MCLP1	145009	737 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145044	738 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145008	739 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145045	740 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145007	741 N. Markoe Street	-	12/14/04	PA03-01407

MCLP1	145046	742 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145006	743 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145047	744 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145038	745 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145005	745 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145017	746 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145048	746 N.45th Street	-	12/20/04	PA03-08407
MCLP1	145037	747 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145004	747 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145049	748 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145018	748 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145036	749 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145003	749 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145050	750 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145019	750 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145035	751 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145002	751 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145051	752 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145020	752 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145034	753 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145001	753 N. Markoe Street	-	12/14/04	PA03-01407
MCLP1	145052	754 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145021	754 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145033	755 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	Office	755 N. Markoe Street	-	n/a	n/a
MCLP1	145053	756 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145022	756 N. 46th Street	-	12/14/04	PA03-03407
MCLP1	145032	757 N. 46th Street	-	12/15/04	PA03-06407
MCLP1	145054	758 N. 45th Street	-	12/20/04	PA03-08407
MCLP1	145023	758 N. 46th Street	-	12/14/04	PA03-03407

LP	Unit #	Address	Apt. #	PIS	BIN#
LBLP2	150001	4611 Parrish Street	A	11/21/05	PA04-01412
LBLP2	150002	4611 Parrish Street	B	11/21/05	PA04-01412
LBLP2	150003	4613 Parrish Street	-	11/21/05	PA04-01412
LBLP2	150004	4615 Parrish Street	-	11/21/05	PA04-01412
LBLP2	150005	4617 Parrish Street	-	11/21/05	PA04-01412
LBLP2	150006	855 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150007	857 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150008	859 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150009	861 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150010	863 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150011	865 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150012	867 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150013	869 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150014	871 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150015	873 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150016	875 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150017	877 N. Markoe Street	-	11/21/05	PA04-03412
LBLP2	150018	879 N. Markoe Street	A	11/21/05	PA04-03412
LBLP2	150019	879 N. Markoe Street	B	11/21/05	PA04-03412
LBLP2	150020	4610 Westminster Street	A	11/21/05	PA074-05412
LBLP2	150021	4610 Westminster Street	B	11/21/05	PA074-05412
LBLP2	150022	4608 Westminster Street	-	11/21/05	PA074-05412
LBLP2	150023	4606 Westminster Street	-	11/21/05	PA074-05412
LBLP2	150024	4604 Westminster Street	-	11/21/05	PA04-04412
LBLP2	150025	4602 Westminster Street	-	11/21/05	PA04-04412
LBLP2	150026	4600 Westminster Street	A	11/21/05	PA04-04412
LBLP2	150027	4600 Westminster Street	B	11/21/05	PA04-04412
LBLP2	150028	854 N. 46th Street	-	11/21/05	PA04-06412
LBLP2	150029	856 N. 46th Street	-	11/21/05	PA04-06412
LBLP2	150030	858 N. 46th Street	-	11/21/05	PA04-06412
LBLP2	150031	860 N. 46th Street	-	11/21/05	PA04-06412
LBLP2	150032	4629 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150033	4627 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150034	4625 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150035	4623 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150036	4621 Parrish Street	-	01/18/06	PA04-07412
LBLP2	150037	4620 Ogden Street	-	01/18/06	PA04-08412
LBLP2	150038	864 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150039	866 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150040	868 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150041	870 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150042	872 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150043	874 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150044	876 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150045	878 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150046	880 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150047	882 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150048	884 N. Markoe Street	-	11/21/05	PA04-09412
LBLP2	150049	886 N. Markoe Street	A	11/21/05	PA04-09412
LBLP2	150050	886 N. Markoe Street	B	11/21/05	PA04-09412
LBLP2	150051	4651 Westminster Street	-	01/18/06	PA04-10412

LBLP2	150052	4649 Westminster Street	-	01/18/06	PA04-10412
LBLP2	150053	4647 Westminster Street	-	01/18/06	PA04-10412
LBLP2	150054	4621 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150055	4619 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150056	4617 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150057	4615 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150058	4613 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150059	4611 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150060	4609 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150061	4607 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150062	4605 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150063	4603 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150064	4601 Westminster Street	-	11/21/05	PA04-11412
LBLP2	150065	859 N. 46th Street	B	11/21/05	PA04-12412
LBLP2	150066	859 N. 46th Street	A	11/21/05	PA04-12412
LBLP2	150067	861 N. 46th Street	-	11/21/05	PA04-12412
LBLP2	150068	863 N. 46th Street	-	11/21/05	PA04-12412
LBLP2	150069	865 N. 46th Street	-	11/21/05	PA04-12412
LBLP2	150070	4515 Hoopes Street	-	12/16/05	PA04-13412
LBLP2	150071	4513 Hoopes Street	-	12/16/05	PA04-13412
LBLP2	150072	4514 Laird Street	-	11/21/05	PA04-14412
LBLP2	150073	4512 Laird Street	-	11/21/05	PA04-14412
LBLP2	150074	853 N. 46th Street	-	11/21/05	PA04-15412
LBLP2	150075	855 N. 46th Street	-	11/21/05	PA04-15412
LBLP2	150076	857 N. 46th Street	B	11/21/05	PA04-15412
LBLP2	150077	857 N. 46th Street	A	11/21/05	PA04-15412
LBLP2	150078	4609 Parrish Street	B	11/21/05	PA04-02412
LBLP2	150079	4609 Parish Street	A	11/21/05	PA04-02412
LBLP2	150080	4607 Parrish Street	-	11/21/05	PA04-02412

LP	Unit #	Address	Apt. #	PIS	BIN
LBLP3	office	811 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153001	901 N. 48th Street	-	11/16/06	PA05-01440
LBLP3	153002	899 N. 48th Street	-	11/16/06	PA05-01440
LBLP3	153003	877 N. 48th Street	A	12/22/06	PA05-03440
LBLP3	153004	877 N. 48th Street	B	12/22/06	PA05-03440
LBLP3	153005	875 N. 48th Street	-	12/22/06	PA05-03440
LBLP3	153006	873 N. 48th Street	-	12/22/06	PA05-03440
LBLP3	153007	845 N. 48th Street	A	11/16/06	PA05-04440
LBLP3	153008	845 N. 48th Street	B	11/16/06	PA05-04440
LBLP3	153009	850 N. 45th Street	-	11/30/06	PA05-05440
LBLP3	153010	852 N. 45th Street	-	11/30/06	PA05-05440
LBLP3	153011	848 N. 44th Street	-	11/30/06	PA05-06440
LBLP3	153012	850 N. 44th Street	-	11/30/06	PA05-06440
LBLP3	153013	852 N. 44th Street	-	11/30/06	PA05-06440
LBLP3	153014	862 N. 44th Street	-	11/30/06	PA05-07440
LBLP3	153015	4410 Parrish Street	-	10/31/06	PA05-08440
LBLP3	153016	4412 Parrish Street	-	10/31/06	PA05-08440
LBLP3	153017	4414 Parrish Street	-	10/31/06	PA05-08440
LBLP3	153018	813 Lex Street	A	10/27/06	PA05-09440
LBLP3	153019	813 Lex Street	B	10/27/06	PA05-09440
LBLP3	153020	815 Lex Street	-	10/27/06	PA05-09440
LBLP3	153021	817 Lex Street	-	10/27/06	PA05-09440
LBLP3	153022	819 Lex Street	-	10/27/06	PA05-09440
LBLP3	153023	821 Lex Street	-	10/27/06	PA05-09440
LBLP3	153024	823 Lex Street	-	10/27/06	PA05-09440
LBLP3	153025	825 Lex Street	A	10/27/06	PA05-09440
LBLP3	153026	825 Lex Street	B	10/27/06	PA05-09440
LBLP3	153027	4416 Parrish Street	A	10/31/06	PA05-10440
LBLP3	153028	4416 Parrish Street	B	10/31/06	PA05-10440
LBLP3	153029	4418 Parrish Street	-	10/31/06	PA05-10440
LBLP3	153030	814 Lex Street	A	10/31/06	PA05-11440
LBLP3	153031	814 Lex Street	B	10/31/06	PA05-11440
LBLP3	153032	816 Lex Street	-	10/31/06	PA05-11440
LBLP3	153033	818 Lex Street	-	10/31/06	PA05-11440
LBLP3	153034	820 Lex Street	-	10/31/06	PA05-11440
LBLP3	153035	822 Lex Street	-	10/31/06	PA05-11440
LBLP3	153036	824 Lex Street	-	10/31/06	PA05-11440
LBLP3	153037	826 Lex Street	A	10/31/06	PA05-11440
LBLP3	153038	826 Lex Street	B	10/31/06	PA05-11440
LBLP3	153039	4431 Brown Street	-	11/10/06	PA05-12440
LBLP3	153040	4433 Brown Street	-	11/10/06	PA05-12440
LBLP3	153041	4435 Brown Street	-	11/10/06	PA05-12440
LBLP3	153042	4437 Brown Street	-	11/10/06	PA05-12440
LBLP3	153043	813 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153044	815 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153045	817 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153046	819 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153047	821 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153048	823 N. 45th Street	-	11/03/06	PA05-13440
LBLP3	153049	825 N. 45th Street	A	11/03/06	PA05-13440
LBLP3	153050	825 N. 45th Street	B	11/03/06	PA05-13440

LP	Unit	Address	Apt	PIS	BIN
LLSS3	157001	1404 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157002	1406 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157003	1410 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157004	1412 Franklin Street	-	12/18/07	PA06-01419
LLSS3	157005	1420 Franklin Street	-	03/14/08	PA06-02419
LLSS3	157006	1450 Franklin Street	-	01/23/08	PA06-03419
LLSS3	157007	1452 Franklin Street	-	01/23/08	PA06-03419
LLSS3	157010	1501 Franklin Street	A	02/06/08	PA06-04419
LLSS3	157011	1501 Franklin Street	B	02/06/08	PA06-04419
LLSS3	157009	1533 Franklin Street	-	02/06/08	PA06-05419
LLSS3	157008	1535 Franklin Street	-	02/06/08	PA06-05419
LLSS3	157040	1427 7th Street	-	02/01/08	PA06-06419
LLSS3	157039	1429 7th Street	-	02/01/08	PA06-06419
LLSS3	157038	1435 7th Street	-	02/01/08	PA06-07419
LLSS3	157037	1437 7th Street	-	02/01/08	PA06-07419
LLSS3	157036	1445 7th Street	-	02/01/08	PA06-08419
LLSS3	157035	1447 7th Street	-	02/01/08	PA06-08419
LLSS3	157034	1449 7th Street	-	02/01/08	PA06-08419
LLSS3	157033	1507 7th Street	-	02/06/08	PA06-09419
LLSS3	157032	1509 7th Street	-	02/06/08	PA06-09419
LLSS3	157031	1511 7th Street	-	02/06/08	PA06-09419
LLSS3	157030	1511 7th Street	A	02/06/08	PA06-09419
LLSS3	157029	1513 7th Street	-	02/06/08	PA06-09419
LLSS3	157028	1513 7th Street	A	02/06/08	PA06-09419
LLSS3	157027	1515 7th Street	-	02/06/08	PA06-09419
LLSS3	157041	1522 Marshall Street	-	03/10/08	PA06-10419
LLSS3	157042	1524 Marshall Street	-	03/10/08	PA06-10419
LLSS3	157043	1526 Marshall Street	-	03/10/08	PA06-10419
LLSS3	157022	1617 7th Street	A	12/18/07	PA06-11419
LLSS3	157023	1617 7th Street	B	12/18/07	PA06-11419
LLSS3	157019	1619 7th Street	A	12/18/07	PA06-11419
LLSS3	157020	1619 7th Street	B	12/18/07	PA06-11419
LLSS3	157021	1619 7th Street	C	12/18/07	PA06-11419
LLSS3	157018	1629 7th Street	-	01/11/08	PA06-12419
LLSS3	157017	1631 7th Street	-	01/11/08	PA06-12419
LLSS3	157016	1647 7th Street	-	02/21/08	PA06-13419
LLSS3	157015	1649 7th Street	-	02/21/08	PA06-13419
LLSS3	157014	1651 7th Street	-	02/21/08	PA06-13419
LLSS3	157013	1653 7th Street	-	02/21/08	PA06-13419
LLSS3	157012	1655 7th Street	-	02/21/08	PA06-13419
LLSS3	157054	1605 Marshall Street	-	02/27/08	PA06-14419
LLSS3	157053	1607 Marshall Street	-	02/27/08	PA06-14419
LLSS3	157052	1613 Marshall Street	-	02/27/08	PA06-15419
LLSS3	157051	1615 Marshall Street	-	02/27/08	PA06-15419

LLSS3	157044	1620 Marshall Street	A	01/11/08	PA06-16419
LLSS3	157045	1620 Marshall Street	B	01/11/08	PA06-16419
LLSS3	157046	1622 Marshall Street	A	01/11/08	PA06-16419
LLSS3	157047	1622 Marshall Street	B	01/11/08	PA06-16419
LLSS3	157048	1632 Marshall Street	-	01/11/08	PA06-17419
LLSS3	157049	1634 Marshall Street	-	01/11/08	PA06-17419
LLSS3	157050	1636 Marshall Street	-	01/11/08	PA06-17419
LLSS3	157055	1606 6th Street	-	03/04/08	PA06-18419
LLSS3	157056	1608 6th Street	A	03/04/08	PA06-18419
LLSS3	157057	1608 6th Street	B	03/04/08	PA06-18419
LLSS3	157058	1610 6th Street	A	03/04/08	PA06-18419
LLSS3	157059	1610 6th Street	B	03/04/08	PA06-18419
LLSS3	157060	1704 6th Street	-	12/11/07	PA06-19419
LLSS3	157061	1706 6th Street	A	12/11/07	PA06-19419
LLSS3	157062	1706 6th Street	B	12/11/07	PA06-19419
LLSS3	157063	1706 6th Street	C	12/11/07	PA06-19419
LLSS3	157064	1708 6th Street	A	12/11/07	PA06-19419
LLSS3	157065	1708 6th Street	B	12/11/07	PA06-19419
LLSS3	157066	1708 6th Street	C	12/11/07	PA06-19419
LLSS3	157067	1710 6th Street	A	12/11/07	PA06-19419
LLSS3	157068	1710 6th Street	B	12/11/07	PA06-19419
LLSS3	157069	1710 6th Street	C	12/11/07	PA06-19419
LLSS3	157070	1712 6th Street	A	12/11/07	PA06-19419
LLSS3	157071	1712 6th Street	B	12/11/07	PA06-19419
LLSS3	157072	1712 6th Street	C	12/11/07	PA06-19419
LLSS3	157073	1758 6th Street	-	03/10/08	PA06-20419
LLSS3	157074	1760 6th Street	A	03/10/08	PA06-20419
LLSS3	157075	1760 6th Street	B	03/10/08	PA06-20419
LLSS3	157026	633 Oxford Street	-	12/10/07	PA06-21419
LLSS3	157025	635 Oxford Street	-	12/10/07	PA06-21419
LLSS3	157024	637 Oxford Street	-	12/10/07	PA06-21419

Extra addresses should not have been submitted to PHFA

LLSS3	615 Cecil B Moore Ave	12/11/07	PA06-19419
LLSS3	626 Cecil B Moore Ave	02/21/08	PA06-13419
LLSS3	639 Jefferson	02/06/08	PA06-09419
LLSS3	1405 Perth Street	12/18/07	PA06-01419
LLSS3	1611 Marshall Street	02/27/08	PA06-14419
LLSS3	1615 N. 7th Street	12/18/07	PA06-11419
LLSS3	1618 N. Marshall Street	01/11/08	PA06-16419

LP	Unit #	Address	APT	PIS	BIN
MALP1	163001	3502 Fairmount Avenue	A		
MALP1	163002	3502 Fairmount Avenue	B		
MALP1	163003	3502 Fairmount Avenue	C		
MALP1	163004	3502 Fairmount Avenue	D		
MALP1	163005	3506 Fairmount Avenue	A		
MALP1	163006	3506 Fairmount Avenue	B		
MALP1	163007	3506 Fairmount Avenue	C		
MALP1	163008	3506 Fairmount Avenue	D		
MALP1	163009	3510 Fairmount Avenue	A		
MALP1	163010	3510 Fairmount Avenue	B		
MALP1	163011	3510 Fairmount Avenue	C		
MALP1	163012	3510 Fairmount Avenue	D		
MALP1	163013	3514 Fairmount Avenue	A		
MALP1	163014	3514 Fairmount Avenue	B		
MALP1	163015	3514 Fairmount Avenue	C		
MALP1	163016	3518 Fairmount Avenue	A		
MALP1	163017	3518 Fairmount Avenue	B		
MALP1	163018	3518 Fairmount Avenue	C		
MALP1	163019	3518 Fairmount Avenue	D		
MALP1	163020	3522 Fairmount Avenue	A		
MALP1	163021	3522 Fairmount Avenue	B		
MALP1	163022	3522 Fairmount Avenue	C		
MALP1	163023	3522 Fairmount Avenue	D		
MALP1	163024	3526 Fairmount Avenue	A		
MALP1	163025	3526 Fairmount Avenue	B		
MALP1	163026	3526 Fairmount Avenue	C		
MALP1	163027	3526 Fairmount Avenue	D		
MALP1	163028	645 36th Street	A		
MALP1	163029	645 36th Street	B		
MALP1	163030	645 36th Street	C		
MALP1	163031	647 36th Street	A		
MALP1	163032	647 36th Street	B		
MALP1	163033	649 36th Street	A		
MALP1	163034	649 36th Street	B		
MALP1	163035	651 36th Street	A		
MALP1	163036	651 36th Street	B		
MALP1	163037	653 36th Street	A		
MALP1	163038	653 36th Street	B		
MALP1	163039	655 36th Street	A		
MALP1	163040	655 36th Street	B		
MALP1	163041	657 36th Street	A		
MALP1	163042	657 36th Street	B		
MALP1	163043	659 36th Street	A		
MALP1	163044	659 36th Street	B		
MALP1	143045	659 36th Street	C		
MALP1	143046	638 36th Street	A		
MALP1	163047	638 36th Street	B		
MALP1	163048	3421 Wallace Street	A		
MALP1	163049	3421 Wallace Street	B		
MALP1	163050	3421 Wallace Street	C		

Commercial Space

MALP1	3500 Fairmount Avenue	Commercial
MALP1	3504 Fairmount Avenue	Commercial
MALP1	3508 Fairmount Avenue	Commercial
MALP1	3512 Fairmount Avenue	Commercial
MALP1	3516 Fairmount Avenue	Commercial
MALP1	3520 Fairmount Avenue	Community
MALP1	3524 Fairmount Avenue	Office Manage.
MALP1	3528 Fairmount Avenue	Office

LP	Unit #	Address	APT	PIS	BIN
MALP2	164001	3501 Wallace Street	A		
MALP2	164002	3501 Wallace Street	B		
MALP2	164003	3501 Wallace Street	C		
MALP2	164004	3503 Wallace Street	A		
MALP2	164005	3503 Wallace Street	B		
MALP2	164006	3503 Wallace Street	C		
MALP2	164007	3505 Wallace Street	A		
MALP2	164008	3505 Wallace Street	B		
MALP2	164009	3505 Wallace Street	C		
MALP2	164010	3507 Wallace Street	A		
MALP2	164011	3507 Wallace Street	B		
MALP2	164012	3507 Wallace Street	C		
MALP2	164013	3509 Wallace Street	A		
MALP2	164014	3509 Wallace Street	B		
MALP2	164015	3511 Wallace Street	A		
MALP2	164016	3511 Wallace Street	B		
MALP2	164017	3513 Wallace Street	A		
MALP2	164018	3513 Wallace Street	B		
MALP2	164019	3515 Wallace Street	A		
MALP2	164020	3515 Wallace Street	B		
MALP2	164021	3517 Wallace Street	A		
MALP2	164022	3517 Wallace Street	B		
MALP2	164023	3519 Wallace Street	A		
MALP2	164024	3519 Wallace Street	B		
MALP2	164025	3521 Wallace Street	A		
MALP2	164026	3521 Wallace Street	B		
MALP2	164027	3523 Wallace Street	A		
MALP2	164028	3523 Wallace Street	B		
MALP2	164029	3523 Wallace Street	C		
MALP2	164030	648 35th Street	A		
MALP2	164031	648 35th Street	B		
MALP2	164032	648 35th Street	C		
MALP2	164033	650 35th Street	A		
MALP2	164034	650 35th Street	B		
MALP2	164035	652 35th Street	A		
MALP2	164036	652 35th Street	B		
MALP2	164037	654 35th Street	A		
MALP2	164038	654 35th Street	B		
MALP2	164039	656 35th Street	A		
MALP2	164040	656 35th Street	B		
MALP2	164041	658 35th Street	A		
MALP2	164042	658 35th Street	B		
MALP2	164043	660 35th Street	A		
MALP2	164044	660 35th Street	B		
MALP2	164045	662 35th Street	A		
MALP2	164046	662 35th Street	B		
MALP2	164047	662 35th Street	C		
MALP2	164048	645 35th Street			
MALP2	164049	647 35th Street			
MALP2	164050	635 36th Street			
MALP2	164051	637 36th Street			

LP	Unit #	Address	Apt	PIS	BIN
MSVLP	156007	610 Budd Street	A	01/28/08	PA06-01105
MSVLP	156008	610 Budd Street	B	01/28/08	PA06-01105
MSVLP	156009	611 Budd Street	A	01/03/08	PA06-02105
MSVLP	156010	611 Budd Street	B	01/03/08	PA06-02105
MSVLP	156011	612 Budd Street	-	01/28/08	PA06-01105
MSVLP	156001	613 41st Street	A	12/17/07	PA06-06105
MSVLP	156002	613 41st Street	B	12/17/07	PA06-06105
MSVLP	156012	613 Budd Street	-	01/03/08	PA06-02105
MSVLP	156013	614 Budd Street	-	01/28/08	PA06-01105
MSVLP	156057	614 Preston Street	-	01/31/08	PA06-07105
MSVLP	156003	615 41st Street	A	01/03/08	PA06-02105
MSVLP	156004	615 41st Street	B	12/17/07	PA06-06105
MSVLP	156014	615 Budd Street	-	12/17/07	PA06-06105
MSVLP	156015	616 Budd Street	-	01/28/08	PA06-01105
MSVLP	156058	616 Preston Street	-	01/31/08	PA06-07105
MSVLP	156016	617 Budd Street	-	01/03/08	PA06-02105
MSVLP	156059	617 Preston Street	-	01/31/08	PA06-10105
MSVLP	156017	618 Budd Street	A	01/28/08	PA06-01105
MSVLP	156018	618 Budd Street	B	01/28/08	PA06-01105
MSVLP	156060	618 Preston Street	-	01/31/08	PA06-07105
MSVLP	156019	619 Budd Street	-	01/03/08	PA06-02105
MSVLP	156061	619 Preston Street	-	01/31/08	PA06-10105
MSVLP	16062	620 Preston Street	-	01/31/08	PA06-07105
MSVLP	156020	621 Budd Street	A	01/03/08	PA06-02105
MSVLP	156021	621 Budd Street	B	01/03/08	PA06-02105
MSVLP	156063	625 Preston Street	-	01/28/08	PA06-09105
MSVLP	156064	627 Preston Street	-	01/28/08	PA06-09105
MSVLP	Office	634 Preston Street	A	02/13/08	PA06-08105
MSVLP	156065	634 Preston Street	B	02/13/08	PA06-08105
MSVLP	156005	635 41st Street	A	01/03/08	PA06-11105
MSVLP	156006	635 41st Street	B	01/03/08	PA06-11105
MSVLP	156032	800 June Street	-	02/27/08	PA06-13105
MSVLP	156033	802 June Street	-	02/27/08	PA06-13105
MSVLP	156034	804 June Street	-	02/27/08	PA06-13105
MSVLP	156035	806 June Street	-	02/27/08	PA06-13105
MSVLP	156036	808 June Street	-	02/27/08	PA06-13105
MSVLP	156037	810 June Street	-	02/27/08	PA06-13105
MSVLP	156038	812 June Street	-	02/27/08	PA06-13105
MSVLP	156039	814 June Street	-	02/27/08	PA06-13105
MSVLP	156040	816 June Street	-	02/27/08	PA06-13105
MSVLP	156041	818 June Street	-	02/27/08	PA06-13105
MSVLP	156042	820 June Street	-	02/27/08	PA06-13105
MSVLP	156043	822 June Street	-	02/27/08	PA06-13105

MSVLP	156044	824 June Street	-	02/27/08	PA06-13105
MSVLP	156052	824 Markoe Street	-	03/25/08	PA06-15105
MSVLP	156053	825 Markoe Street	-	03/26/08	PA06-14105
MSVLP	156045	826 June Street	-	02/27/08	PA06-13105
MSVLP	156054	826 Markoe Street	-	03/25/08	PA06-15105
MSVLP	156046	828 June Street	-	02/27/08	PA06-13105
MSVLP	156055	828 Markoe Street	-	03/25/08	PA06-15105
MSVLP	156047	830 June Street	-	02/27/08	PA06-13105
MSVLP	156048	832 June Street	-	02/27/08	PA06-13105
MSVLP	156049	834 June Street	-	02/27/08	PA06-13105
MSVLP	156050	836 June Street	-	02/27/08	PA06-13105
MSVLP	156051	838 June Street	-	02/27/08	PA06-13105
MSVLP	156056	838 Markoe Street	-	03/25/08	PA06-16105
MSVLP	156079	4035 Warren Street	A	01/03/08	PA06-12105
MSVLP	156080	4035 Warren Street	B	01/03/08	PA06-12105
MSVLP	156066	4046 Wallace Street	A	11/29/07	PA06-03105
MSVLP	156067	4046 Wallace Street	B	11/29/07	PA06-03105
MSVLP	156068	4048 Wallace Street	A	11/29/07	PA06-03105
MSVLP	156069	4048 Wallace Street	B	11/29/07	PA06-03105
MSVLP	156070	4048 Wallace Street	C	11/29/07	PA06-03105
MSVLP	156071	4050 Wallace Street	A	11/29/07	PA06-03105
MSVLP	156072	4050 Wallace Street	B	11/29/07	PA06-03105
MSVLP	156073	4050 Wallace Street	C	11/29/07	PA06-03105
MSVLP	156074	4060 Wallace Street	A	12/17/07	PA06-04105
MSVLP	156075	4060 Wallace Street	B	12/17/07	PA06-04105
MSVLP	156076	4060 Wallace Street	C	12/17/07	PA06-04105
MSVLP	156022	4061 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156023	4061 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156077	4062 Wallace Street	A	12/17/07	PA06-04105
MSVLP	156078	4062 Wallace Street	B	12/17/07	PA06-04105
MSVLP	156024	4063 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156025	4063 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156026	4065 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156027	4065 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156028	4067 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156029	4067 Haverford Ave.	B	01/28/08	PA06-05105
MSVLP	156030	4069 Haverford Ave.	A	01/28/08	PA06-05105
MSVLP	156031	4069 Haverford Ave.	B	01/28/08	PA06-05105

LP	Unit #	Address	Apt	PIS	BIN
MTOLP	138219	659 Hollymall	A	12/31/03	PA02-01303
MTOLP	138220	659 Hollymall	B	12/31/03	PA02-01303
MTOLP	138221	659 Hollymall	C	12/31/03	PA02-01303
MTOLP	138222	659 Hollymall	D	12/31/03	PA02-01303
MTOLP	138223	663 Hollymall	A	12/31/03	PA02-01303
MTOLP	138224	663 Hollymall	B	12/31/03	PA02-01303
MTOLP	138225	663 Hollymall	C	12/31/03	PA02-01303
MTOLP	138226	663 Hollymall	D	12/31/03	PA02-01303
MTOLP	138227	667 Hollymall	A	12/31/03	PA02-01303
MTOLP	138228	667 Hollymall	B	12/31/03	PA02-01303
MTOLP	138229	667 Hollymall	C	12/31/03	PA02-01303
MTOLP	138230	671 Hollymall	A	12/31/03	PA02-01303
MTOLP	138231	671 Hollymall	B	12/31/03	PA02-01303
MTOLP	138232	671 Hollymall	C	12/31/03	PA02-01303
MTOLP	138233	671 Hollymall	D	12/31/03	PA02-01303
MTOLP	138234	671 Hollymall	E	12/31/03	PA02-01303
MTOLP	138235	671 Hollymall	F	12/31/03	PA02-01303
MTOLP	138236	4106 Warren Street	A	12/31/03	PA02-01303
MTOLP	138237	4106 Warren Street	B	12/31/03	PA02-01303
MTOLP	138238	4106 Warren Street	C	12/31/03	PA02-01303
MTOLP	138239	4102 Warren Street	A	12/31/03	PA02-01303
MTOLP	138240	4102 Warren Street	B	12/31/03	PA02-01303
MTOLP	138241	4102 Warren Street	C	12/31/03	PA02-01303
MTOLP	138242	670 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138243	670 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138244	670 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138245	670 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138246	666 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138247	666 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138248	666 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138249	666 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138250	662 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138251	662 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138252	662 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138253	662 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138254	658 N. 41 Street	A	12/31/03	PA02-01303
MTOLP	138255	658 N. 41 Street	B	12/31/03	PA02-01303
MTOLP	138256	658 N. 41 Street	C	12/31/03	PA02-01303
MTOLP	138257	658 N. 41 Street	D	12/31/03	PA02-01303
MTOLP	138258	661 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138259	661 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138260	661 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138261	661 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138262	665 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138263	665 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138264	665 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138265	669 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138266	669 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138267	669 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138268	669 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138269	673 N. 42 Street	A	12/31/03	PA02-02303

MTOLP	138270	673 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138271	673 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138272	673 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138273	677 N. 42 Street	A	12/31/03	PA02-02303
MTOLP	138274	677 N. 42 Street	B	12/31/03	PA02-02303
MTOLP	138275	677 N. 42 Street	C	12/31/03	PA02-02303
MTOLP	138276	677 N. 42 Street	D	12/31/03	PA02-02303
MTOLP	138277	677 N. 42 Street	E	12/31/03	PA02-02303
MTOLP	138278	4118 Fairmount Avenue	A	12/31/03	PA02-02303
MTOLP	138279	4118 Fairmount Avenue	B	12/31/03	PA02-02303
MTOLP	138280	4118 Fairmount Avenue	C	12/31/03	PA02-02303
MTOLP	138281	4114 Fairmount Avenue	A	12/31/03	PA02-02303
MTOLP	138282	4114 Fairmount Avenue	B	12/31/03	PA02-02303
MTOLP	138283	4114 Fairmount Avenue	C	12/31/03	PA02-02303
MTOLP	138284	676 Hollymall	A	12/31/03	PA02-02303
MTOLP	138285	676 Hollymall	B	12/31/03	PA02-02303
MTOLP	138286	676 Hollymall	C	12/31/03	PA02-02303
MTOLP	138287	676 Hollymall	D	12/31/03	PA02-02303
MTOLP	138288	676 Hollymall	E	12/31/03	PA02-02303
MTOLP	138289	672 Hollymall	A	12/31/03	PA02-02303
MTOLP	138290	672 Hollymall	B	12/31/03	PA02-02303
MTOLP	138291	672 Hollymall	C	12/31/03	PA02-02303
MTOLP	138292	672 Hollymall	D	12/31/03	PA02-02303
MTOLP	138293	668 Hollymall	A	12/31/03	PA02-02303
MTOLP	138294	668 Hollymall	B	12/31/03	PA02-02303
MTOLP	138295	668 Hollymall	C	12/31/03	PA02-02303
MTOLP	138296	668 Hollymall	D	12/31/03	PA02-02303
MTOLP	138297	664 Hollymall	A	12/31/03	PA02-02303
MTOLP	138298	664 Hollymall	B	12/31/03	PA02-02303
MTOLP	138299	664 Hollymall	C	12/31/03	PA02-02303
MTOLP	138300	660 Hollymall	A	12/31/03	PA02-02303
MTOLP	138301	660 Hollymall	B	12/31/03	PA02-02303
MTOLP	138302	660 Hollymall	C	12/31/03	PA02-02303
MTOLP	138303	660 Hollymall	D	12/31/03	PA02-02303
MTOLP	138304	626 N.41 Street	A	11/30/04	PA02-03303
MTOLP	138305	626 N.41 Street	B	11/30/04	PA02-03303
MTOLP	138306	626 N. 41Street	C	11/30/04	PA02-03303
MTOLP	138307	626 N.41 Street	D	11/30/04	PA02-03303
MTOLP	138308	626 N. 41 Street	E	11/30/04	PA02-03303
MTOLP	138309	622 N.41 Street	A	11/30/04	PA02-03303
MTOLP	138310	622 N. 41 Street	B	11/30/04	PA02-03303
MTOLP	138311	622 N.41 Street	C	11/30/04	PA02-03303
MTOLP	138312	618 N. 41 Street	A	11/30/04	PA02-03303
MTOLP	138313	618 N. 41 Street	B	11/30/04	PA02-03303
MTOLP	138314	618 N. 41 Street	C	11/30/04	PA02-03303
MTOLP	138315	618 N. 41 Street	D	11/30/04	PA02-03303
MTOLP	138316	614 N. 41 Street	A	11/30/04	PA02-03303
MTOLP	138317	614 N. 41Street	B	11/30/04	PA02-03303
MTOLP	138318	614 N. 41 Street	C	11/30/04	PA02-03303
MTOLP	138319	614 N. 41 Street	D	11/30/04	PA02-03303
MTOLP	138320	4101 Haverford Avenue	A	11/30/04	PA02-03303
MTOLP	138321	4101 Haverford Avenue	B	11/30/04	PA02-03303

MTOLP	138322	4101 Haverford Avenue	C	11/30/04	PA02-03303
MTOLP	138323	4105 Haverford Avenue	A	11/30/04	PA02-03303
MTOLP	138324	4105 Haverford Avenue	B	11/30/04	PA02-03303
MTOLP	138325	4105 Haverford Avenue	C	11/30/04	PA02-03303
MTOLP	138326	615 Hollymall	A	11/30/04	PA02-03303
MTOLP	138327	615 Hollymall	B	11/30/04	PA02-03303
MTOLP	138328	615 Hollymall	C	11/30/04	PA02-03303
MTOLP	138329	615 Hollymall	D	11/30/04	PA02-03303
MTOLP	138330	615 Hollymall	E	11/30/04	PA02-03303
MTOLP	138331	619 Hollymall	A	11/30/04	PA02-03303
MTOLP	138332	619 Hollymall	B	11/30/04	PA02-03303
MTOLP	138333	619 Hollymall	C	11/30/04	PA02-03303
MTOLP	138334	623 Hollymall	A	11/30/04	PA02-03303
MTOLP	138335	623 Hollymall	B	11/30/04	PA02-03303
MTOLP	138336	623 Hollymall	C	11/30/04	PA02-03303
MTOLP	138337	627 Hollymall	A	11/30/04	PA02-03303
MTOLP	138338	627 Hollymall	B	11/30/04	PA02-03303
MTOLP	138339	627 Hollymall	C	11/30/04	PA02-03303
MTOLP	138340	627 Hollymall	D	11/30/04	PA02-03303
MTOLP	138341	627 Hollymall	E	11/30/04	PA02-03303
MTOLP	138342	626 Hollymall	A	09/23/04	PA02-04303
MTOLP	138343	626 Hollymall	B	09/23/04	PA02-04303
MTOLP	138344	626 Hollymall	C	09/23/04	PA02-04303
MTOLP	138345	626 Hollymall	D	09/23/04	PA02-04303
MTOLP	138346	626 Hollymall	E	09/23/04	PA02-04303
MTOLP	138347	622 Hollymall	A	09/23/04	PA02-04303
MTOLP	138348	622 Hollymall	B	09/23/04	PA02-04303
MTOLP	138349	622 Hollymall	C	09/23/04	PA02-04303
MTOLP	138350	618 Hollymall	A	09/23/04	PA02-04303
MTOLP	138351	618 Hollymall	B	09/23/04	PA02-04303
MTOLP	138352	618 Hollymall	C	09/23/04	PA02-04303
MTOLP	138353	618 Hollymall	D	09/23/04	PA02-04303
MTOLP	138354	614 Hollymall	A	09/23/04	PA02-04303
MTOLP	138355	614 Hollymall	B	09/23/04	PA02-04303
MTOLP	138356	614 Hollymall	C	09/23/04	PA02-04303
MTOLP	138357	614 Hollymall	D	09/23/04	PA02-04303
MTOLP	138358	4117 Haverford Avenue	A	09/23/04	PA02-04303
MTOLP	138359	4117 Haverford Avenue	B	09/23/04	PA02-04303
MTOLP	138360	4117 Haverford Avenue	C	09/23/04	PA02-04303
MTOLP	138361	4121 Haverford Avenue	A	09/23/04	PA02-04303
MTOLP	138362	4121 Haverford Avenue	B	09/23/04	PA02-04303
MTOLP	138363	4121 Haverford Avenue	C	09/23/04	PA02-04303
MTOLP	138364	615 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138365	615 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138366	615 N. 42 Street	C	09/23/04	PA02-04303
MTOLP	138367	615 N. 42 Street	D	09/23/04	PA02-04303
MTOLP	138368	615 N. 42 Street	E	09/23/04	PA02-04303
MTOLP	138369	619 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138370	619 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138371	619 N. 42 Street	C	09/23/04	PA02-04303
MTOLP	138372	623 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138373	623 N. 42 Street	B	09/23/04	PA02-04303

MTOLP	138374	623 N. 42 Street	C	09/23/04	PA02-04303
MTOLP	138375	627 N. 42 Street	A	09/23/04	PA02-04303
MTOLP	138376	627 N. 42 Street	B	09/23/04	PA02-04303
MTOLP	138377	627 N. 42 Street	C	09/23/04	PA02-04303
MTOLP	138378	627 N. 42 Street	D	09/23/04	PA02-04303
MTOLP	138379	627 N. 42 Street	E	09/23/04	PA02-04303

LP	Unit #	Address	Apt	PIS	BIN
NORLP	175001	1019 W. Norris Street	A		
NORLP	175002	1019 W. Norris Street	B		
NORLP	175003	1019 W. Norris Street	C		
NORLP	175004	1019 W. Norris Street	D		
NORLP	175005	1021 W. Norris Street	A		
NORLP	175006	1021 W. Norris Street	B		
NORLP	175007	1021 W. Norris Street	C		
NORLP	175008	1021 W. Norris Street	D		
NORLP	175009	1023 W. Norris Street	A		
NORLP	175010	1023 W. Norris Street	B		
NORLP	175011	1023 W. Norris Street	C		
NORLP	175012	1023 W. Norris Street	D		
NORLP	175013	2001 N. 11th Street	A		
NORLP	175014	2001 N. 11th Street	B		
NORLP	175015	2001 N. 11th Street	C		
NORLP	175016	2001 N. 11th Street	D		
NORLP	175017	2003 N. 11th Street	A		
NORLP	175018	2003 N. 11th Street	B		
NORLP	175019	2003 N. 11th Street	C		
NORLP	175020	2005 N. 11th Street	A		
NORLP	175021	2005 N. 11th Street	B		
NORLP	175022	2005 N. 11th Street	C		
NORLP	175023	2007 N. 11th Street	A		
NORLP	175024	2007 N. 11th Street	B		
NORLP	175025	2007 N. 11th Street	C		
NORLP	175026	2009 N. 11th Street	A		
NORLP	175027	2009 N. 11th Street	B		
NORLP	175028	2009 N. 11th Street	C		
NORLP	175029	2009 N. 11th Street	D		
NORLP	office	2013 N. 11th Street	A		
NORLP	175030	2013 N. 11th Street	B		
NORLP	175031	2013 N. 11th Street	C		
NORLP	175032	2013 N. 11th Street	D		
NORLP	175033	2015 N. 11th Street	A		
NORLP	175034	2015 N. 11th Street	B		
NORLP	175035	2015 N. 11th Street	C		
NORLP	175036	2017 N. 11th Street	A		
NORLP	175037	2017 N. 11th Street	B		
NORLP	175038	2017 N. 11th Street	C		
NORLP	175039	2019 N. 11th Street	A		
NORLP	175040	2019 N. 11th Street	B		
NORLP	175041	2019 N. 11th Street	C		
NORLP	175042	2019 N. 11th Street	D		
NORLP	175043	1018 Diamond Street	-		
NORLP	175044	1020 Diamond Street	-		
NORLP	175045	1022 Diamond Street	-		
NORLP	175046	1024 Diamond Street	-		
NORLP	175047	1026 Diamond Street	-		
NORLP	175048	1028 Diamond Street	-		
NORLP	175049	1030 Diamond Street	-		
NORLP	175050	1032 Diamond Street	-		
NORLP	175051	1034 Diamond Street	-		

LP	Unit #	Address	Apt	CO Date	BIN
PALP1	173001	7208 Woodland Avenue	A	11/02/11	
PALP1	173002	7208 Woodland Avenue	B	11/02/11	
PALP1	173003	7210 Woodland Avenue		11/02/11	
PALP1	173004	7212 Woodland Avenue		11/02/11	
PALP1	173005	7214 Woodland Avenue		11/02/11	
PALP1	173020	7211 Saybrook Avenue		10/11/11	
PALP1	173021	7213 Saybrook Avenue		10/11/11	
PALP1	173022	7215 Saybrook Avenue		10/11/11	
PALP1	173023	7217 Saybrook Avenue		10/11/11	
PALP1	173024	7219 Saybrook Avenue		10/12/11	
PALP1	173025	7221 Saybrook Avenue		10/12/11	
PALP1	173026	7223 Saybrook Avenue		10/12/11	
PALP1	173027	7225 Saybrook Avenue		10/12/11	
PALP1	173028	7227 Saybrook Avenue		10/16/11	
PALP1	173029	7229 Saybrook Avenue		10/16/11	
PALP1	173030	7231 Saybrook Avenue		10/19/11	
PALP1	173031	7233 Saybrook Avenue		10/19/11	
PALP1	173032	7235 Saybrook Avenue	A	10/19/11	
PALP1	173033	7235 Saybrook Avenue	B	10/19/11	
PALP1	173034	7210 Saybrook Avenue		09/29/11	
PALP1	173035	7212 Saybrook Avenue		09/29/11	
PALP1	173036	7214 Saybrook Avenue	A	10/04/11	
PALP1	173037	7214 Saybrook Avenue	B	10/04/11	
PALP1	173038	7216 Saybrook Avenue	A	10/04/11	
PALP1	173039	7216 Saybrook Avenue	B	10/04/11	
PALP1	173040	7218 Saybrook Avenue		10/05/11	
PALP1	173041	7220 Saybrook Avenue		10/05/11	
PALP1	173042	7222 Saybrook Avenue	A	10/05/11	
PALP1	173043	7222 Saybrook Avenue	B	10/05/11	
PALP1	173044	7224 Saybrook Avenue	A	10/05/11	
PALP1	173045	7224 Saybrook Avenue	B	10/05/11	
PALP1	173046	7226 Saybrook Avenue		10/06/11	
PALP1	173047	7228 Saybrook Avenue		10/06/11	
PALP1	173048	7230 Saybrook Avenue		10/06/11	
PALP1	173049	7232 Saybrook Avenue	A	10/06/11	
PALP1	173050	7232 Saybrook Avenue	B	10/06/11	
PALP1	173006	2210 S. 72nd Street	A	11/02/11	
PALP1	173007	2210 S. 72nd Street	B	11/02/11	
PALP1	173008	2212 S. 72nd Street	A	11/02/11	
PALP1	173009	2212 S. 72nd Street	B	11/02/11	
PALP1	173010	2214 S. 72nd Street	A	09/21/11	
PALP1	173011	2214 S. 72nd Street	B	09/21/11	
PALP1	173012	2216 S. 72nd Street		09/21/11	
PALP1	173013	2218 S. 72nd Street		09/22/11	
PALP1	173014	2220 S. 72nd Street		09/22/11	
PALP1	173015	2222 S. 72nd Street		09/22/11	
PALP1	173016	2224 S. 72nd Street		09/26/11	
PALP1	173017	2226 S. 72nd Street		09/26/11	
PALP1	173018	2228 S. 72nd Street		09/26/11	
PALP1	173019	2230 S. 72nd Street		09/29/11	
PALP1	office	7200 Woodland Avenue		n/a	n/a

LP	Unit #	Address	Apt.	CO Date	BIN
PALP2	174019	7129 Greenway Avenue	A		
PALP2	174020	7129 Greenway Avenue	B		
PALP2	174021	7131 Greenway Avenue			
PALP2	174022	7133 Greenway Avenue			
PALP2	174023	7135 Greenway Avenue			
PALP2	174024	7137 Greenway Avenue			
PALP2	174025	7139 Greenway Avenue			
PALP2	174026	7141 Greenway Avenue			
PALP2	174027	7143 Greenway Avenue			
PALP2	174028	7145 Greenway Avenue			
PALP2	174029	7147 Greenway Avenue			
PALP2	174030	7149 Greenway Avenue	A		
PALP2	174031	7149 Greenway Avenue	B		
PALP2	174039	7153 Greenway Avenue			
PALP2	174040	7155 Greenway Avenue			
PALP2	174041	7157 Greenway Avenue			
PALP2	174042	7159 Greenway Avenue			
PALP2	174043	7161 Greenway Avenue			
PALP2	174044	7163 Greenway Avenue			
PALP2	174045	7165 Greenway Avenue			
PALP2	174046	7167 Greenway Avenue			
PALP2	174047	7169 Greenway Avenue			
PALP2	174048	7171 Greenway Avenue			
PALP2	174049	7173 Greenway Avenue			
PALP2	174050	7175 Greenway Avenue			
PALP2	174032	7201 Greenway Avenue	A		
PALP2	174033	7201 Greenway Avenue	B		
PALP2	174034	7203 Greenway Avenue			
PALP2	174035	7205 Greenway Avenue			
PALP2	174036	7207 Greenway Avenue			
PALP2	174037	7209 Greenway Avenue			
PALP2	174038	7211 Greenway Avenue			
PALP2	174001	7211 Paschall Avenue	A		
PALP2	174002	7211 Paschall Avenue	B		
PALP2	174003	7213 Paschall Avenue			
PALP2	174004	7215 Paschall Avenue			
PALP2	174005	7217 Paschall Avenue	A		
PALP2	174006	7217 Paschall Avenue	B		
PALP2	174007	7219 Paschall Avenue	A		
PALP2	174008	7219 Paschall Avenue	B		
PALP2	174009	7221 Paschall Avenue	A		
PALP2	174010	7221 Paschall Avenue	B		
PALP2	174011	7223 Paschall Avenue	A		
PALP2	174012	7223 Paschall Avenue	B		
PALP2	174013	7225 Paschall Avenue			
PALP2	174014	7227 Paschall Avenue			
PALP2	174015	7229 Paschall Avenue	A		
PALP2	174016	7229 Paschall Avenue	B		
PALP2	174017	7231 Paschall Avenue	A		
PALP2	174018	7231 Paschall Avenue	B		

Commercial Space?

PALP2 7151 Greenway Avenue
PALP2 7177 Greenway Avenue

LP	Unit #	Address	Apt	PIS	BIN
RALP3	133001	701 N. 12th Street	A	06/10/03	PA01-01102
RALP3	133002	701 N. 12th Street	B	06/10/03	PA01-01102
RALP3	133003	703 N. 12th Street	-	06/10/03	PA01-10102
RALP3	133004	705 N. 12th Street	-	06/10/03	PA01-10102
RALP3	133005	707 N. 12th Street	-	06/10/03	PA01-11102
RALP3	133006	709 N. 12th Street	-	06/10/03	PA01-11102
RALP3	133007	711 N. 12th Street	-		
RALP3	133008	710 N. Marvine Street	A	06/10/03	PA01-14102
RALP3	133009	710 N. Marvine Street	B	06/10/03	PA01-14102
RALP3	133010	708 N. Marvine Street	-	06/10/03	PA01-06102
RALP3	133011	706 N. Marvine Street	-	06/10/03	PA01-06102
RALP3	133012	704 N. Marvine Street	-	06/10/03	PA01-07102
RALP3	133013	702 N. Marvine Street	-	06/10/03	PA01-07102
RALP3	133014	700 N. Marvine Street	A	06/10/03	PA01-08102
RALP3	133015	700 N. Marvine Street	B	06/10/03	PA01-08102
RALP3	133016	701 N. Marvine Street	A	06/10/03	PA01-09102
RALP3	133017	701 N. Marvine Street	B	06/10/03	PA01-09102
RALP3	133018	703 N. Marvine Street	-		
RALP3	133019	705 N. Marvine Street	-		
RALP3	133020	707 N. Marvine Street	-		
RALP3	133021	709 N. Marvine Street	-		
RALP3	133022	711 N. Marvine Street	-	06/10/03	PA01-12102
RALP3	133023	713 N. Marvine Street	A	06/10/03	PA01-13102
RALP3	133024	713 N. Marvine Street	B	06/10/03	PA01-13102
RALP3	133025	712 N. 11th Street	-		
RALP3	133026	710 N. 11th Street	-		
RALP3	133027	708 N. 11th Street	-	06/10/03	PA01-15102
RALP3	133028	706 N. 11th Street	-	06/10/03	PA01-15102
RALP3	133029	704 N. 11th Street	-	06/10/03	PA01-16102
RALP3	133030	702 N. 11th Street	-	06/10/03	PA01-16102
RALP3	133031	700 N. 11th Street	-	08/01/03	PA01-17102
RALP3	133032	701 N. 11th Street	A	05/23/03	PA01-18102
RALP3	133033	701 N. 11th Street	B	05/23/03	PA01-18102
RALP3	133034	703 N. 11th Street	-	05/16/03	PA01-19102
RALP3	133035	705 N. 11th Street	-	05/16/03	PA01-19102
RALP3	133036	707 N. 11th Street	-	05/16/03	PA01-20102
RALP3	133037	709 N. 11th Street	-	05/16/03	PA01-20102
RALP3	133038	711 N. 11th Street	-	05/16/03	PA01-21102
RALP3	133039	713 N. 11th Street	-	05/16/03	PA01-21102
RALP3	133040	715 N. 11th Street	A	05/23/03	PA01-22102
RALP3	133041	715 N. 11th Street	B	05/23/03	PA01-22102
RALP3	133042	714 N. Warnock Street	A	04/25/03	PA01-23102
RALP3	133043	714 N. Warnock Street	B	04/25/03	PA01-23102
RALP3	133044	712 N. Warnock Street	-	04/25/03	PA01-24102
RALP3	133045	710 N. Warnock Street	-	04/25/03	PA01-24102
RALP3	133046	708 N. Warnock Street	-	04/25/03	PA01-25102
RALP3	133047	706 N. Warnock Street	-	04/25/03	PA01-25102
RALP3	133048	704 N. Warnock Street	-	04/25/03	PA01-26102
RALP3	133049	702 N. Warnock Street	-	04/25/03	PA01-26102
RALP3	133050	700 N. Warnock Street	A	04/25/03	PA01-27102
RALP3	133051	700 N. Warnock Street	B	04/25/03	PA01-27102

RALP3	133052	701 N. Warnock Street	A	03/27/03	PA01-28102
RALP3	133053	701 N. Warnock Street	B	03/27/03	PA01-28102
RALP3	133054	703 N. Warnock Street	-	04/14/03	PA01-29102
RALP3	133055	705 N. Warnock Street	-	04/14/03	PA01-29102
RALP3	133056	707 N. Warnock Street	-	04/14/03	PA01-30102
RALP3	133057	709 N. Warnock Street	-	04/14/03	PA01-30102
RALP3	133058	711 N. Warnock Street	-	03/27/03	PA01-30102
RALP3	133059	713 N. Warnock Street	-	03/27/03	PA01-30102
RALP3	133060	715 N. Warnock Street	A	03/27/03	PA01-32102
RALP3	133061	715 N. Warnock Street	B	03/27/03	PA01-32102
RALP3	133062	714 N. 10th Street	A	05/16/03	PA01-33102
RALP3	133063	714 N. 10th Street	B	05/16/03	PA01-33102
RALP3	133064	712 N. 10th Street	-	05/16/03	PA01-34102
RALP3	133065	710 N. 10th Street	-	05/16/03	PA01-34102
RALP3	133066	708 N. 10th Street	-	05/16/03	PA01-35102
RALP3	133067	706 N. 10th Street	-	05/16/03	PA01-35102
RALP3	133068	704 N. 10th Street	-	05/16/03	PA01-36102
RALP3	133069	702 N. 10th Street	-	05/16/03	PA01-36102
RALP3	133070	700 N. 10th Street	A	05/16/03	PA01-37102
RALP3	133071	700 N. 10th Street	B	05/16/03	PA01-37102
RALP3	134072	801 N.12th Street	A	08/20/03	PA01-38102
RALP3	134073	801 N.12th Street	B	08/20/03	PA01-38102
RALP3	134074	803 N. 12th Street	-	08/20/03	PA01-39102
RALP3	134075	805 N. 12th Street	-	08/20/03	PA01-39102
RALP3	134076	807 N. 12th Street	-	08/20/03	PA01-40102
RALP3	134077	809 N. 12th Street	-	08/20/03	PA01-40102
RALP3	134078	811 N. 12th Street	-	08/20/03	PA01-41102
RALP3	134079	813 N. 12th Street	-	08/20/03	PA01-41102
RALP3	134080	815 N. 12th Street	A	10/24/03	PA01-42102
RALP3	134081	815 N. 12th Street	B	10/24/03	PA01-42102
RALP3	134082	814 N. Marvine Street	A	08/20/03	PA01-43102
RALP3	134083	814 N. Marvine Street	B	08/20/03	PA01-43102
RALP3	134084	812 N. Marvine Street	-	08/20/03	PA01-44102
RALP3	134085	810 N. Marvine Street	-	08/20/03	PA01-44102
RALP3	134086	808 N. Marvine Street	-	08/20/03	PA01-45102
RALP3	134087	806 N. Marvine Street	-	08/20/03	PA01-45102
RALP3	134088	804 N. Marvine Street	-	08/20/11	PA01-46102
RALP3	134089	802 N. Marvine Street	-	08/20/11	PA01-46102
RALP3	134090	800 N. Marvine Street	A	08/20/11	PA01-47102
RALP3	134091	800 N. Marvine Street	B	08/20/11	PA01-47102
RALP3	134092	801 N. Marvine Street	A	09/03/03	PA01-48102
RALP3	134093	801 N. Marvine Street	B	09/03/03	PA01-48102
RALP3	134094	803 N. Marvine Street	-	08/20/11	PA01-49102
RALP3	134095	805 N. Marvine Street	-	08/20/11	PA01-49102
RALP3	134096	807 N. Marvine Street	-	08/20/11	PA01-50102
RALP3	134097	809 N. Marvine Street	-	08/20/11	PA01-50102
RALP3	134098	811 N. Marvine Street	-	08/20/11	PA01-51102
RALP3	134099	813 N. Marvine Street	-	08/20/11	PA01-51102
RALP3	134100	815 N. Marvine Street	A	08/20/11	PA01-52102
RALP3	134101	815 N. Marvine Street	B	08/20/11	PA01-52102
RALP3	134102	814 N. 11th Street	A	08/20/11	PA01-53102
RALP3	134103	814 N. 11th Street	B	08/20/11	PA01-53102

RALP3	134104	812 N. 11th Street	-	08/20/11	PA01-54102
RALP3	134105	810 N. 11th Street	-	08/20/11	PA01-54102
RALP3	134106	808 N. 11th Street	-	08/20/03	PA01-55102
RALP3	134107	806 N. 11th Street	-	08/20/03	PA01-55102
RALP3	134108	804 N. 11th Street	-	08/20/03	PA01-56102
RALP3	134109	802 N. 11th Street	-	08/20/03	PA01-56102
RALP3	134110	800 N. 11th Street	A	08/20/03	PA01-57102
RALP3	134111	800 N. 11th Street	B	08/20/03	PA01-57102
RALP3	134112	831 11th Street	-	11/07/03	PA01-58102
RALP3	134113	833 11th Street	-	11/07/03	PA01-58102
RALP3	134114	835 11th Street	-	11/07/03	PA01-58102
RALP3	134115	837 11th Street	-	11/07/03	PA01-58102
RALP3	134116	839 11th Street	-	11/07/03	PA01-58102
RALP3	134117	841 11th Street	-	11/07/03	PA01-58102
RALP3	134118	843 11th Street	-	11/07/03	PA01-58102
RALP3	134119	845 11th Street	-	11/07/03	PA01-58102
RALP3	134120	847 11th Street	-	11/17/03	PA01-59102
RALP3	134121	849 11th Street	-	11/17/03	PA01-59102
RALP3	134122	851 11th Street	-	11/17/03	PA01-59102
RALP3	134123	853 11th Street	-	11/17/03	PA01-59102
RALP3	134124	855 11th Street	-	11/17/03	PA01-59102
RALP3	134125	857 11th Street	-	11/17/03	PA01-59102
RALP3	134126	859 11th Street	-	11/17/03	PA01-59102
RALP3	134127	861 11th Street	-	11/17/03	PA01-59102
RALP3	134128	863 11th Street	-	11/17/03	PA01-59102
RALP3	134129	1019 Parrish Street	-	11/07/03	PA01-60102
RALP3	134130	1017 Parrish Street	-	11/07/03	PA01-60102
RALP3	134131	1015 Parrish Street	-	11/07/03	PA01-60102
RALP3	134132	1013 Parrish Street	-	11/07/03	PA01-60102
RALP3	134133	1011 Parrish Street	-	11/07/03	PA01-60102
RALP3	134134	1009 Parrish Street	-	11/07/03	PA01-60102
RALP3	134135	1007 Parrish Street	-	11/07/03	PA01-60102
RALP3	134136	1005 Parrish Street	-	11/07/03	PA01-60102
RALP3	134137	842 10th Street	A	11/07/03	PA01-61102
RALP3	134138	842 10th Street	B	11/07/03	PA01-61102
RALP3	134139	1000 Ogden Street	-	11/07/03	PA01-62102
RALP3	134140	1002 Ogden Street	-	11/07/03	PA01-63102
RALP3	134141	1004 Ogden Street	-	11/07/03	PA01-63102
RALP3	134142	1006 Ogden Street	-	11/07/03	PA01-64102
RALP3	134143	1008 Ogden Street	-	11/07/03	PA01-64102
RALP3	134144	1010 Ogden Street	-	11/07/03	PA01-65102
RALP3	134145	1011 Ogden Street	-	11/07/03	PA01-66102
RALP3	134146	1009 Ogden Street	-	11/07/03	PA01-67102
RALP3	134147	1007 Ogden Street	-	11/07/03	PA01-67102
RALP3	134148	1005 Ogden Street	-	11/07/03	PA01-68102
RALP3	134149	1003 Ogden Street	-	11/07/03	PA01-68102
RALP3	134150	1001 Ogden Street	A	11/17/03	PA01-69102
RALP3	134151	1001 Ogden Street	B	11/17/03	PA01-69102
RALP3	134152	913 Parrish Street	-	11/26/03	PA01-70102
RALP3	134153	901 Ogden Place	A	11/26/03	PA01-71102
RALP3	134154	901 Ogden Place	B	11/26/03	PA01-71102
RALP3	134155	912 Ogden Place	A	11/26/03	PA01-72102

RALP3	134156	912 Ogden Place	B	11/26/03	PA01-72102
RALP3	134157	918 Poplar Street	A	11/26/03	PA01-73102
RALP3	134158	918 Poplar Street	B	11/26/03	PA01-73102
RALP3	134159	916 Poplar Street	-	11/26/03	PA01-74102
RALP3	134160	914 Poplar Street	-	11/26/03	PA01-74102
RALP3	134161	912 Poplar Street	-	11/26/03	PA01-75102
RALP3	134162	910 Poplar Street	-	11/26/03	PA01-75102
RALP3	134163	908 Poplar Street	-	11/26/03	PA01-76102
RALP3	134164	906 Poplar Street	-	11/26/03	PA01-76102
RALP3	134165	911 Ogden Place	-	11/26/03	PA01-77102
RALP3	134166	910 Ogden Place	-	11/26/03	PA01-77102
RALP3	134167	909 Ogden Place	-	11/26/03	PA01-78102
RALP3	134168	908 Ogden Place	-	11/26/03	PA01-78102
RALP3	134169	907 Ogden Place	-	11/26/03	PA01-79102
RALP3	134170	906 Ogden Place	-	11/26/03	PA01-79102
RALP3	134171	905 Ogden Place	-	11/26/03	PA01-80102
RALP3	134172	904 Ogden Place	-	11/26/03	PA01-80102
RALP3	134173	903 Ogden Place	-	11/26/03	PA01-81102
RALP3	134174	902 Ogden Place	-	11/26/03	PA01-81102
RALP3	134175	911 Parrish Street	-	11/26/03	PA01-82102
RALP3	134176	909 Parrish Street	-	11/26/03	PA01-82102
RALP3	134177	907 Parrish Street	-	11/26/03	PA01-83102
RALP3	134178	905 Parrish Street	-	11/26/03	PA01-83102

LP	Unit #	Address	Apt	PIS	BIN
SMLP1	132001	1416 Clearview Street Bldg F	119	09/17/03	PA01-01304
SMLP1	132002	1416 Clearview Street Bldg F	120	09/17/03	PA01-01304
SMLP1	132003	1416 Clearview Street Bldg F	121	09/17/03	PA01-01304
SMLP1	132004	1416 Clearview Street Bldg F	122	09/17/03	PA01-01304
SMLP1	132005	1416 Clearview Street Bldg F	123	09/17/03	PA01-01304
SMLP1	132006	1416 Clearview Street Bldg F	219	09/17/03	PA01-01304
SMLP1	132007	1416 Clearview Street Bldg F	220	09/17/03	PA01-01304
SMLP1	132008	1416 Clearview Street Bldg F	221	09/17/03	PA01-01304
SMLP1	132009	1416 Clearview Street Bldg F	222	09/17/03	PA01-01304
SMLP1	132010	1416 Clearview Street Bldg F	223	09/17/03	PA01-01304
SMLP1	132011	1416 Clearview Street Bldg F	319	09/17/03	PA01-01304
SMLP1	132012	1416 Clearview Street Bldg F	320	09/17/03	PA01-01304
SMLP1	132013	1416 Clearview Street Bldg F	321	09/17/03	PA01-01304
SMLP1	132014	1416 Clearview Street Bldg F	322	09/17/03	PA01-01304
SMLP1	132015	1416 Clearview Street Bldg F	323	09/17/03	PA01-01304
SMLP1	132016	1416 Clearview Street Bldg F	419	09/17/03	PA01-01304
SMLP1	132017	1416 Clearview Street Bldg F	420	09/17/03	PA01-01304
SMLP1	132018	1416 Clearview Street Bldg F	421	09/17/03	PA01-01304
SMLP1	132019	1416 Clearview Street Bldg F	422	09/17/03	PA01-01304
SMLP1	132020	1416 Clearview Street Bldg F	423	09/17/03	PA01-01304
SMLP1	132021	1416 Clearview Street Bldg F	519	09/17/03	PA01-01304
SMLP1	132022	1416 Clearview Street Bldg F	520	09/17/03	PA01-01304
SMLP1	132023	1416 Clearview Street Bldg F	521	09/17/03	PA01-01304
SMLP1	132024	1416 Clearview Street Bldg F	522	09/17/03	PA01-01304
SMLP1	132025	1416 Clearview Street Bldg F	523	09/17/03	PA01-01304
SMLP1	132026	1416 Clearview Street Bldg F	619	09/17/03	PA01-01304
SMLP1	132027	1416 Clearview Street Bldg F	620	09/17/03	PA01-01304
SMLP1	132028	1416 Clearview Street Bldg F	621	09/17/03	PA01-01304
SMLP1	132029	1416 Clearview Street Bldg F	622	09/17/03	PA01-01304
SMLP1	132030	1416 Clearview Street Bldg F	623	09/17/03	PA01-01304
SMLP1	132031	1418 Clearview Street Bldg G	115	10/01/03	PA01-02304
SMLP1	132032	1418 Clearview Street Bldg G	116	10/01/03	PA01-02304
SMLP1	132033	1418 Clearview Street Bldg G	117	10/01/03	PA01-02304
SMLP1	132034	1418 Clearview Street Bldg G	118	10/01/03	PA01-02304
SMLP1	132035	1418 Clearview Street Bldg G	215	10/01/03	PA01-02304
SMLP1	132036	1418 Clearview Street Bldg G	216	10/01/03	PA01-02304
SMLP1	132037	1418 Clearview Street Bldg G	217	10/01/03	PA01-02304
SMLP1	132038	1418 Clearview Street Bldg G	218	10/01/03	PA01-02304
SMLP1	132039	1418 Clearview Street Bldg G	315	10/01/03	PA01-02304
SMLP1	132040	1418 Clearview Street Bldg G	316	10/01/03	PA01-02304
SMLP1	132041	1418 Clearview Street Bldg G	317	10/01/03	PA01-02304
SMLP1	132042	1418 Clearview Street Bldg G	318	10/01/03	PA01-02304
SMLP1	132043	1418 Clearview Street Bldg G	415	10/01/03	PA01-02304
SMLP1	132044	1418 Clearview Street Bldg G	416	10/01/03	PA01-02304
SMLP1	132045	1418 Clearview Street Bldg G	417	10/01/03	PA01-02304
SMLP1	132046	1418 Clearview Street Bldg G	418	10/01/03	PA01-02304
SMLP1	132047	1418 Clearview Street Bldg G	515	10/01/03	PA01-02304
SMLP1	132048	1418 Clearview Street Bldg G	516	10/01/03	PA01-02304
SMLP1	132049	1418 Clearview Street Bldg G	517	10/01/03	PA01-02304
SMLP1	132050	1418 Clearview Street Bldg G	518	10/01/03	PA01-02304
SMLP1	132051	1418 Clearview Street Bldg G	615	10/01/03	PA01-02304

SMLP1	132104	1422 Clearview Street Bldg J	606	10/23/03	PA01-04304
SMLP1	132105	1422 Clearview Street Bldg J	607	10/23/03	PA01-04304
SMLP1	132106	1422 Clearview Street Bldg J	608	10/23/03	PA01-04304
SMLP1	132107	1422 Clearview Street Bldg J	609	10/23/03	PA01-04304
SMLP1	132108	1424 Clearview Street Bldg K	101	11/28/03	PA01-05304
SMLP1	132109	1424 Clearview Street Bldg K	102	11/28/03	PA01-05304
SMLP1	132110	1424 Clearview Street Bldg K	103	11/28/03	PA01-05304
SMLP1	132111	1424 Clearview Street Bldg K	104	11/28/03	PA01-05304
SMLP1	132112	1424 Clearview Street Bldg K	105	11/28/03	PA01-05304
SMLP1	132113	1424 Clearview Street Bldg K	201	11/28/03	PA01-05304
SMLP1	132114	1424 Clearview Street Bldg K	202	11/28/03	PA01-05304
SMLP1	132115	1424 Clearview Street Bldg K	203	11/28/03	PA01-05304
SMLP1	132116	1424 Clearview Street Bldg K	204	11/28/03	PA01-05304
SMLP1	132117	1424 Clearview Street Bldg K	205	11/28/03	PA01-05304
SMLP1	132118	1424 Clearview Street Bldg K	301	11/28/03	PA01-05304
SMLP1	132119	1424 Clearview Street Bldg K	302	11/28/03	PA01-05304
SMLP1	132120	1424 Clearview Street Bldg K	303	11/28/03	PA01-05304
SMLP1	132121	1424 Clearview Street Bldg K	304	11/28/03	PA01-05304
SMLP1	132122	1424 Clearview Street Bldg K	305	11/28/03	PA01-05304
SMLP1	132123	1424 Clearview Street Bldg K	401	11/28/03	PA01-05304
SMLP1	132124	1424 Clearview Street Bldg K	402	11/28/03	PA01-05304
SMLP1	132125	1424 Clearview Street Bldg K	403	11/28/03	PA01-05304
SMLP1	132126	1424 Clearview Street Bldg K	404	11/28/03	PA01-05304
SMLP1	132127	1424 Clearview Street Bldg K	405	11/28/03	PA01-05304
SMLP1	132128	1424 Clearview Street Bldg K	501	11/28/03	PA01-05304
SMLP1	132129	1424 Clearview Street Bldg K	502	11/28/03	PA01-05304
SMLP1	132130	1424 Clearview Street Bldg K	503	11/28/03	PA01-05304
SMLP1	132131	1424 Clearview Street Bldg K	504	11/28/03	PA01-05304
SMLP1	132132	1424 Clearview Street Bldg K	505	11/28/03	PA01-05304
SMLP1	132133	1424 Clearview Street Bldg K	601	11/28/03	PA01-05304
SMLP1	132134	1424 Clearview Street Bldg K	602	11/28/03	PA01-05304
SMLP1	132135	1424 Clearview Street Bldg K	603	11/28/03	PA01-05304
SMLP1	132136	1424 Clearview Street Bldg K	604	11/28/03	PA01-05304
SMLP1	132137	1424 Clearview Street Bldg K	605	11/28/03	PA01-05304

LP	Unit #	Address	Apt	PIS	BIN
TALP1	139002	1820 30th Street	-	01/14/04	PA02-01102
TALP1	139001	1822 30th Street	-	01/14/04	PA02-01102
TALP1	139004	1816 30th Street	-	01/14/04	PA02-02102
TALP1	139003	1818 30th Street	-	01/14/04	PA02-02102
TALP1	139006	1812 30th Street	-	01/14/04	PA02-03102
TALP1	139005	1814 30th Street	-	01/14/04	PA02-03102
TALP1	139008	1808 30th Street	-	01/14/04	PA02-04102
TALP1	139007	1810 30th Street	-	01/14/04	PA02-04102
TALP1	139010	1804 30th Street	-	01/14/04	PA02-05102
TALP1	139009	1806 30th Street	-	01/14/04	PA02-05102
TALP1	139012	1800 30th Street	-	01/14/04	PA02-06102
TALP1	139011	1802 30th Street	-	01/14/04	PA02-06102
TALP1	139013	1801 Corlies Street	-	01/14/04	PA02-07102
TALP1	139014	1803 Corlies Street	-	01/14/04	PA02-07102
TALP1	139015	1805 Corlies Street	-	01/14/04	PA02-08102
TALP1	139016	1807 Corlies Street	-	01/14/04	PA02-08102
TALP1	139017	1809 Corlies Street	-	01/14/04	PA02-09102
TALP1	139018	1811 Corlies Street	-	01/14/04	PA02-09102
TALP1	139019	1813 Corlies Street	-	01/14/04	PA02-10102
TALP1	139020	1815 Corlies Street	-	01/14/04	PA02-10102
TALP1	139021	1817 Corlies Street	-	01/14/04	PA02-11102
TALP1	139022	1819 Corlies Street	-	01/14/04	PA02-11102
TALP1	139023	1821 Corlies Street	-	01/14/04	PA02-12102
TALP1	139024	1823 Corlies Street	-	01/14/04	PA02-12102
TALP1	139026	1820 Corlies Steet	-	03/29/04	PA02-13102
TALP1	139025	1822 Corlies Street	-	03/29/04	PA02-13102
TALP1	139028	1816 Corlies Street	-	03/29/04	PA02-14102
TALP1	139027	1818 Corlies Street	-	03/29/04	PA02-14102
TALP1	139030	1812 Corlies Street	-	03/29/04	PA02-15102
TALP1	139029	1814 Corlies Street	-	03/29/04	PA02-15102
TALP1	139032	1808 Corlies Street	-	03/29/04	PA02-16102
TALP1	139031	1810 Corlies Street	-	03/29/04	PA02-16102
TALP1	139034	1804 Corlies Street	-	03/29/04	PA02-17102
TALP1	139033	1806 Corlies Street	-	03/29/04	PA02-17102
TALP1	139036	1800 Corlies Street	-	03/29/04	PA02-18102
TALP1	139035	1802 Corlies Street	-	03/29/04	PA02-18102
TALP1	139037	1801 31st Street	-	03/29/04	PA02-19102
TALP1	139038	1803 31st Street	-	03/29/04	PA02-19102
TALP1	139039	1805 31st Street	-	03/29/04	PA02-20102
TALP1	139040	1807 31st Street	-	03/29/04	PA02-20102
TALP1	139041	1809 31st Street	-	03/29/04	PA02-21102
TALP1	139042	1811 31st Street	-	03/29/04	PA02-21102
TALP1	139043	1813 31st Street	-	03/29/04	PA02-22102
TALP1	139044	1815 31st Street	-	03/29/04	PA02-22102
TALP1	139045	1817 31st Street	-	03/29/04	PA02-23102
TALP1	139046	1819 31st Street	-	03/29/04	PA02-23102
TALP1	139047	1821 31st Street	-	03/29/04	PA02-24102
TALP1	139048	1823 31st Street	-	03/29/04	PA02-24102
TALP1	139051	1809 30th Street	-	03/29/04	PA02-25102
TALP1	139052	1811 30th Street	-	03/29/04	PA02-25102
TALP1	139049	1813 30th Street	-	03/29/04	PA02-25102

TALP1	139050	1815 30th Street	-	03/29/04	PA02-25102
TALP1	139055	1801 30th Street	-	06/23/04	PA02-26102
TALP1	139056	1803 30th Street	-	06/23/04	PA02-26102
TALP1	139053	1805 30th Street	-	06/23/04	PA02-26102
TALP1	139054	1807 30th Street	-	06/23/04	PA02-26102
TALP1	139059	2906 Moore Street	-	06/23/04	PA02-27102
TALP1	139060	2908 Moore Street	-	06/23/04	PA02-27102
TALP1	139057	2910 Moore Street	-	06/23/04	PA02-27102
TALP1	139058	2912 Moore Street	-	06/23/04	PA02-27102
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TALP1	139078	1703 30th Street	-	05/14/04	PA02-28102
TALP1	139077	1705 30th Street	-	05/14/04	PA02-28102
TALP1	139076	1707 30th Street	-	05/14/04	PA02-28102
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TALP1	139072	1715 30th Street	-	05/14/04	PA02-28102
TALP1	139071	1717 30th Street	-	05/14/04	PA02-28102
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TALP1	139069	1721 30th Street	-	05/14/04	PA02-28102
TALP1	139068	1723 30th Street	-	05/14/04	PA02-28102
TALP1	139067	1725 30th Street	-	05/14/04	PA02-28102
TALP1	139066	1727 30th Street	-	05/14/04	PA02-28102
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TALP1	139097	1702 Hollywood Street	-	05/14/04	PA02-29102
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TALP1	139115	1705 Hollywood Street	-	06/04/04	PA02-30102
TALP1	139114	1707 Hollywood Street	-	06/04/04	PA02-30102
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TALP1	139110	1715 Hollywood Street	-	06/04/04	PA02-30102
TALP1	139109	1717 Hollywood Street	-	06/04/04	PA02-30102
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TALP1	139107	1721 Hollywood Street	-	06/04/04	PA02-30102
TALP1	139106	1723 Hollywood Street	-	06/04/04	PA02-30102
TALP1	139105	1725 Hollywood Street	-	06/04/04	PA02-30102
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TALP1	139103	1729 Hollywood Street	-	06/04/04	PA02-30102
TALP1	139102	1731 Hollywood Street	-	06/04/04	PA02-30102
TALP1	139101	1733 Hollywood Street	-	06/04/04	PA02-30102
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TALP1	139133	1706 29th Street	-	06/04/04	PA02-31102
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TALP1	139131	1710 29th Street	-	06/04/04	PA02-31102
TALP1	139130	1712 29th Street	-	06/04/04	PA02-31102
TALP1	139129	1714 29th Street	-	06/04/04	PA02-31102
TALP1	139128	1716 29th Street	-	06/04/04	PA02-31102
TALP1	139127	1718 29th Street	-	06/04/04	PA02-31102
TALP1	139126	1720 29th Street	-	06/04/04	PA02-31102
TALP1	139125	1722 29th Street	-	06/04/04	PA02-31102
TALP1	139124	1724 29th Street	-	06/04/04	PA02-31102
TALP1	139123	1726 29th Street	-	06/04/04	PA02-31102
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TALP1	139121	1730 29th Street	-	06/04/04	PA02-31102
TALP1	139120	1732 29th Street	-	06/04/04	PA02-31102
TALP1	139119	1734 29th Street	-	06/04/04	PA02-31102
TALP1	139118	1736 29th Street	-	06/04/04	PA02-31102
TALP1	139153	2905 New Hope Street	-	06/23/04	PA02-32102
TALP1	139152	2907 New Hope Street	-	06/23/04	PA02-32102
TALP1	139151	2909 New Hope Street	-	06/23/04	PA02-32102
TALP1	139150	2911 New Hope Street	-	06/23/04	PA02-32102
TALP1	139149	2913 New Hope Street	-	06/23/04	PA02-32102
TALP1	139148	2915 New Hope Street	-	06/23/04	PA02-32102
TALP1	139147	2917 New Hope Street	-	06/23/04	PA02-32102
TALP1	139146	2919 New Hope Street	-	06/23/04	PA02-32102
TALP1	139145	2921 New Hope Street	-	06/23/04	PA02-32102
TALP1	139144	2923 New Hope Street	-	06/23/04	PA02-32102
TALP1	139143	2925 New Hope Street	-	06/23/04	PA02-32102
TALP1	139142	2927 New Hope Street	-	06/23/04	PA02-32102
TALP1	139141	2929 New Hope Street	-	06/23/04	PA02-32102
TALP1	139140	2931 New Hope Street	-	06/23/04	PA02-32102
TALP1	139139	2933 New Hope Street	-	06/23/04	PA02-32102
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TALP1	139137	2937 New Hope Street	-	06/23/04	PA02-32102
TALP1	139155	3032 W. Mifflin Street	-	06/23/04	PA02-33102
TALP1	139154	3034 W. Mifflin Street	-	06/23/04	PA02-33102

TALP1	139157	3028 W. Mifflin Street	-	06/23/04	PA02-34102
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TALP1	139158	3026 W. Mifflin Street	-	06/23/04	PA02-35102
TALP1	139161	3020 W. Mifflin Street	-	06/23/04	PA02-36102
TALP1	139160	3022 W. Mifflin Street	-	06/23/04	PA02-36102
TALP1	139163	3016 W. Mifflin Street	-	06/23/04	PA02-37102
TALP1	139162	3018 W. Mifflin Street	-	06/23/04	PA02-37102
TALP1	139165	3012 W. Mifflin Street	-	06/23/04	PA02-38102
TALP1	139164	3014 W. Mifflin Street	-	06/23/04	PA02-38102
TALP1	139167	3008 W. Mifflin Street	-	06/23/04	PA02-39102
TALP1	139166	3010 W. Mifflin Street	-	06/23/04	PA02-39102
TALP1	139170	3004A W. Mifflin Street	A	06/23/04	PA02-40102
TALP1	139171	3004B W. Mifflin Street	B	06/23/04	PA02-40102
TALP1	139168	3006A W. Mifflin Street	A	06/23/04	PA02-40102
TALP1	139169	3006B W. Mifflin Street	B	06/23/04	PA02-40102
TALP1	139173	3000 W. Mifflin Street	-	06/23/04	PA02-41102
TALP1	139172	3002 W. Mifflin Street	-	06/23/04	PA02-41102
TALP1	139174	3001 Moore Street	100	11/23/04	PA02-42102
TALP1	139175	3001 Moore Street	101	11/23/04	PA02-42102
TALP1	139176	3001 Moore Street	102	11/23/04	PA02-42102
TALP1	139177	3001 Moore Street	103	11/23/04	PA02-42102
TALP1	139178	3001 Moore Street	104	11/23/04	PA02-42102
TALP1	139179	3001 Moore Street	105	11/23/04	PA02-42102
TALP1	139180	3001 Moore Street	106	11/23/04	PA02-42102
TALP1	139181	3001 Moore Street	107	11/23/04	PA02-42102
TALP1	139182	3001 Moore Street	108	11/23/04	PA02-42102
TALP1	139183	3001 Moore Street	109	11/23/04	PA02-42102
TALP1	139184	3001 Moore Street	110	11/23/04	PA02-42102
TALP1	139185	3001 Moore Street	111	11/23/04	PA02-42102
TALP1	139186	3001 Moore Street	112	11/23/04	PA02-42102
TALP1	139187	3001 Moore Street	113	11/23/04	PA02-42102
TALP1	139188	3001 Moore Street	200	11/23/04	PA02-42102
TALP1	139189	3001 Moore Street	201	11/23/04	PA02-42102
TALP1	139190	3001 Moore Street	202	11/23/04	PA02-42102
TALP1	139191	3001 Moore Street	203	11/23/04	PA02-42102
TALP1	139192	3001 Moore Street	204	11/23/04	PA02-42102
TALP1	139193	3001 Moore Street	205	11/23/04	PA02-42102
TALP1	139194	3001 Moore Street	206	11/23/04	PA02-42102
TALP1	139195	3001 Moore Street	207	11/23/04	PA02-42102
TALP1	139196	3001 Moore Street	208	11/23/04	PA02-42102
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TALP1	139201	3001 Moore Street	213	11/23/04	PA02-42102
TALP1	139202	3001 Moore Street	214	11/23/04	PA02-42102
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TALP1	139205	3001 Moore Street	217	11/23/04	PA02-42102
TALP1	139206	3001 Moore Street	218	11/23/04	PA02-42102
TALP1	139207	3001 Moore Street	219	11/23/04	PA02-42102

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TALP1	139209	3001 Moore Street	221	11/23/04	PA02-42102
TALP1	139210	3001 Moore Street	222	11/23/04	PA02-42102
TALP1	139211	3001 Moore Street	223	11/23/04	PA02-42102
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TALP1	139213	3001 Moore Street	225	11/23/04	PA02-42102
TALP1	139214	3001 Moore Street	226	11/23/04	PA02-42102
TALP1	139215	3001 Moore Street	227	11/23/04	PA02-42102
TALP1	139216	3001 Moore Street	228	11/23/04	PA02-42102
TALP1	139217	3001 Moore Street	300	11/23/04	PA02-42102
TALP1	139218	3001 Moore Street	301	11/23/04	PA02-42102
TALP1	139219	3001 Moore Street	302	11/23/04	PA02-42102
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TALP1	139221	3001 Moore Street	304	11/23/04	PA02-42102
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TALP1	139224	3001 Moore Street	307	11/23/04	PA02-42102
TALP1	139225	3001 Moore Street	308	11/23/04	PA02-42102
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TALP1	139232	3001 Moore Street	315	11/23/04	PA02-42102
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TALP1	139234	3001 Moore Street	317	11/23/04	PA02-42102
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TALP1	139243	3001 Moore Street	326	11/23/04	PA02-42102
TALP1	139244	3001 Moore Street	327	11/23/04	PA02-42102
TALP1	139245	3001 Moore Street	328	11/23/04	PA02-42102

LP	Unit #	Address	Apt	PIS	BIN
TALP2	143001	1731 Douglas Street	B	12/31/04	PA03-01101
TALP2	143002	1731 Douglas Street	A	12/31/04	PA03-01101
TALP2	143003	1727 Douglas Street	-	12/31/04	PA03-01101
TALP2	143004	1729 Douglas Street	-	12/31/04	PA03-01101
TALP2	143005	1725 Douglas Street	-	12/31/04	PA03-01101
TALP2	143006	1723 Douglas Street	-	12/31/04	PA03-01101
TALP2	143007	1721 Douglas Street	-	12/31/04	PA03-01101
TALP2	143008	1719 Douglas Street	-	12/31/04	PA03-01101
TALP2	143009	1717 Douglas Street	-	12/31/04	PA03-01101
TALP2	143010	1715 Douglas Street	-	12/31/04	PA03-01101
TALP2	143011	1713 Douglas Street	-	12/31/04	PA03-01101
TALP2	143012	1711 Douglas Street	-	12/31/04	PA03-01101
TALP2	143013	1709 Douglas Street	-	12/31/04	PA03-01101
TALP2	143014	1707 Douglas Street	-	12/31/04	PA03-01101
TALP2	143015	1705 Douglas Street	-	12/31/04	PA03-01101
TALP2	143016	1703 Douglas Street	-	12/31/04	PA03-01101
TALP2	143017	1701 Douglas Street	A	12/31/04	PA03-01101
TALP2	143018	1701 Douglas Street	B	12/31/04	PA03-01101
TALP2	143019	1700 Natrona Street	A	01/25/05	PA03-01101
TALP2	143020	1700 Natrona Street	B	01/25/05	PA03-01101
TALP2	143021	1704 Natrona Street	-	01/25/05	PA03-01101
TALP2	143022	1702 Natrona Street	-	01/25/05	PA03-01101
TALP2	143023	1706 Natrona Street	-	01/25/05	PA03-01101
TALP2	143024	1708 Natrona Street	-	01/25/05	PA03-01101
TALP2	143025	1710 Natrona Street	-	01/25/05	PA03-01101
TALP2	143026	1712 Natrona Street	-	01/25/05	PA03-01101
TALP2	143027	1714 Natrona Street	-	01/25/05	PA03-01101
TALP2	143028	1716 Natrona Street	-	01/25/05	PA03-01101
TALP2	143029	1718 Natrona Street	-	01/25/05	PA03-01101
TALP2	143030	1720 Natrona Street	-	01/25/05	PA03-01101
TALP2	143031	1722 Natrona Street	-	01/25/05	PA03-01101
TALP2	143032	1724 Natrona Street	-	01/25/05	PA03-01101
TALP2	143033	1726 Natrona Street	-	01/25/05	PA03-01101
TALP2	143034	1728 Natrona Street	-	01/25/05	PA03-01101
TALP2	143035	1730 Natrona Street	-	01/25/05	PA03-01101
TALP2	143036	1732 Natrona Street	-	01/25/05	PA03-01101
TALP2	143037	1734 Natrona Street	-	01/25/05	PA03-01101
TALP2	143038	1736 Natrona Street	A	01/25/05	PA03-01101
TALP2	143039	1736 Natrona Street	B	01/25/05	PA03-01101
TALP2	143040	1701 Natrona Street	A	03/08/05	PA03-03101
TALP2	143041	1701 Natrona Street	B	03/08/05	PA03-03101
TALP2	143042	1737 Natrona Street	A	03/08/05	PA03-03101
TALP2	143043	1737 Natrona Street	B	03/08/05	PA03-03101
TALP2	143044	1733 Natrona Street	-	03/08/05	PA03-03101
TALP2	143045	1735 Natrona Street	-	03/08/05	PA03-03101
TALP2	143046	1731 Natrona Street	-	03/08/05	PA03-03101
TALP2	143047	1729 Natrona Street	-	03/08/05	PA03-03101
TALP2	143048	1727 Natrona Street	-	03/08/05	PA03-03101
TALP2	143049	1725 Natrona Street	-	03/08/05	PA03-03101
TALP2	143050	1723 Natrona Street	-	03/08/05	PA03-03101
TALP2	143051	1721 Natrona Street	-	03/08/05	PA03-03101

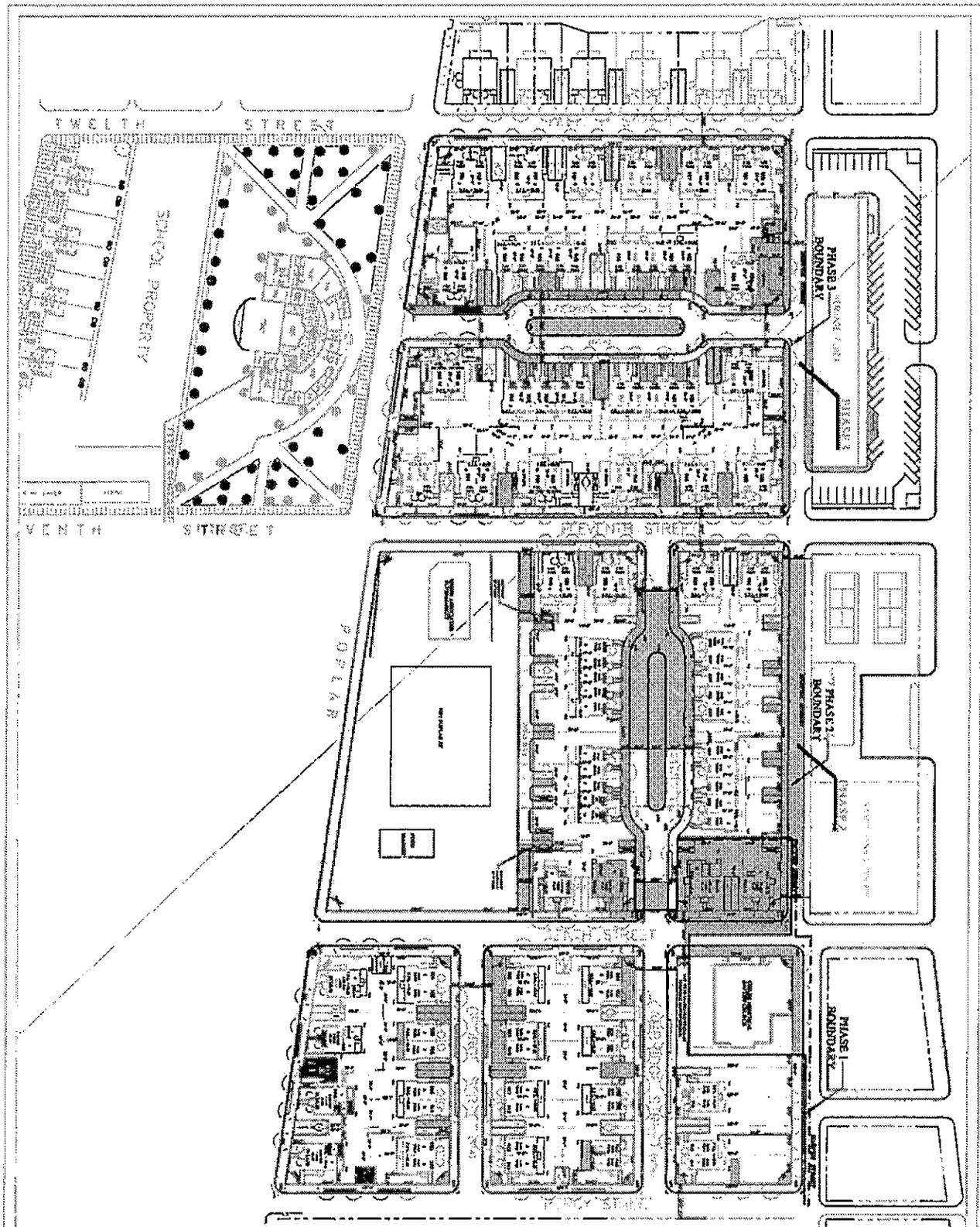
TALP2	143052	1719 Natrona Street	-	03/08/05	PA03-03101
TALP2	143053	1717 Natrona Street	-	03/08/05	PA03-03101
TALP2	143054	1715 Natrona Street	-	03/08/05	PA03-03101
TALP2	143055	1713 Natrona Street	-	03/08/05	PA03-03101
TALP2	143056	1711 Natrona Street	-	03/08/05	PA03-03101
TALP2	143057	1709 Natrona Street	-	03/08/05	PA03-03101
TALP2	143058	1707 Natrona Street	-	03/08/05	PA03-03101
TALP2	143059	1705 Natrona Street	-	03/08/05	PA03-03101
TALP2	143060	1703 Natrona Street	-	03/08/05	PA03-03101
TALP2	143061	1700 32nd Street	A	03/08/05	PA03-04101
TALP2	143062	1700 32nd Street	B	03/08/05	PA03-04101
TALP2	143063	1704 32nd Street	-	03/08/05	PA03-04101
TALP2	143064	1702 32nd Street	-	03/08/05	PA03-04101
TALP2	143065	1706 32nd Street	-	03/08/05	PA03-04101
TALP2	143066	1708 32nd Street	-	03/08/05	PA03-04101
TALP2	143067	1710 32nd Street	-	03/08/05	PA03-04101
TALP2	143068	1712 32nd Street	-	03/08/05	PA03-04101
TALP2	143069	1714 32nd Street	-	03/08/05	PA03-04101
TALP2	143070	1716 32nd Street	-	03/08/05	PA03-04101
TALP2	143071	1718 32nd Street	-	03/08/05	PA03-04101
TALP2	143072	1720 32nd Street	-	03/08/05	PA03-04101
TALP2	143073	1722 32nd Street	-	03/08/05	PA03-04101
TALP2	143074	1724 32nd Street	-	03/08/05	PA03-04101
TALP2	143075	1726 32nd Street	-	03/08/05	PA03-04101
TALP2	143076	1728 32nd Street	-	03/08/05	PA03-04101
TALP2	143077	1730 32nd Street	-	03/08/05	PA03-04101
TALP2	143078	1732 32nd Street	-	03/08/05	PA03-04101
TALP2	143079	1734 32nd Street	-	03/08/05	PA03-04101
TALP2	143080	1736 32nd Street	A	03/08/05	PA03-04101
TALP2	143081	1736 32nd Street	B	03/08/05	PA03-04101
TALP2	144001	1607 32nd Street	A	07/27/05	PA03-08101
TALP2	144002	1607 32nd Street	B	07/27/05	PA03-08101
TALP2	144003	1609 32nd Street	-	07/27/05	PA03-08101
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TALP2	144017	1632 Napa Street	B	07/27/05	PA03-09101
TALP2	144018	1630 Napa Street	-	07/27/05	PA03-09101
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TALP2	144021	1624 Napa Street	-	07/27/05	PA03-09101
TALP2	144022	1622 Napa Street	-	07/27/05	PA03-09101

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TALP2	144025	1616 Napa Street	-	07/27/05	PA03-09101
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TALP2	144030	1608 Napa Street	B	07/27/05	PA03-09101
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TALP2	144033	1609 Napa Street	-	11/03/05	PA03-10101
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TALP2	144042	1701 32nd Street	B	10/27/05	PA03-05101
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TALP2	144073	1716 Napa Street	-	10/18/05	PA03-06101
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TALP2	144075	1712 Napa Street	-	10/18/05	PA03-06101
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TALP2	144077	1708 Napa Street	-	10/18/05	PA03-06101
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TALP2	144081	1700 Napa Street	A	10/18/05	PA03-06101
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TALP2	144102	1737 Napa Street	A	10/18/05	PA03-07101
TALP2	144103	1737 Napa Street	B	10/18/05	PA03-07101

LP	Unit #	Address	Apt	PIS	BIN
WNLP1	160043	1019 W. Somerset Street	A	09/28/09	PA07-02412
WNLP1	160044	1019 W. Somerset Street	B	09/28/09	PA07-02412
WNLP1	160023	1020 W. Cambria Street	B	09/28/09	PA07-04412
WNLP1	160024	1020 W. Cambria Street	A	09/28/09	PA07-04412
WNLP1	160045	1021 W. Somerset Street	-	09/28/09	PA07-02412
WNLP1	160022	1022 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160046	1023 W. Somerset Street	-	09/28/09	PA07-02412
WNLP1	160021	1024 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160047	1025 W. Somerset Street	-	09/28/09	PA07-02412
WNLP1	160020	1026 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160048	1027 W. Somerset Street	-	09/28/09	PA07-02412
WNLP1	160019	1028 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160049	1029 W. Somerset Street	-	09/28/09	PA07-02412
WNLP1	160018	1030 W. Cambria Street	-	09/28/09	PA07-04412
WNLP1	160050	1031 W. Somerset Street	-	09/28/09	PA07-02412
WNLP1	160016	1032 W. Cambria Street	A	09/28/09	PA07-04412
WNLP1	160017	1032 W. Cambria Street	B	09/28/09	PA07-04412
WNLP1	160041	2810 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160042	2810 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160001	2811 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160002	2811 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160040	2812 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160003	2813 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160039	2814 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160004	2815 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160038	2816 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160005	2817 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160006	2817 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160037	2818 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160007	2819 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160008	2819 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160035	2820 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160036	2820 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160009	2821 N. 11th Streetreet	A	09/28/09	PA07-01412
WNLP1	160010	2821 N. 11th Streetreet	B	09/28/09	PA07-01412
WNLP1	160033	2822 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160034	2822 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160011	2823 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160031	2824 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160032	2824 N. Warnock Street	A	09/28/09	PA07-03412
WNLP1	160012	2825 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160030	2826 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160013	2827 N. 11th Streetreet	-	09/28/09	PA07-01412

WNLP1	160029	2828 N. Warnock Street	-	09/28/09	PA07-03412
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WNLP1	160015	2831 N. 11th Streetreet	-	09/28/09	PA07-01412
WNLP1	160027	2832 N. Warnock Street	-	09/28/09	PA07-03412
WNLP1	160025	2834 N. Warnock Street	B	09/28/09	PA07-03412
WNLP1	160026	2834 N. Warnock Street	A	09/28/09	PA07-03412



CAMBRIDGE PLAZA UNIT MIX

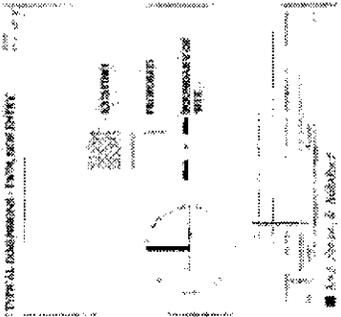
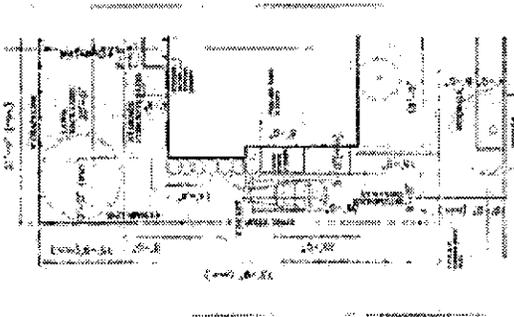
TOTAL PROJECT	TOTAL PROJECT	HANDICAP ACCESSIBLE
10 - 1 BEDROOM	2 - 1 BEDROOM	
21 - 2 BEDROOM	6 - 2 BEDROOM	
55 - 3 BEDROOM	5 - 3 BEDROOM	
23 - 4 BEDROOM	4 - 4 BEDROOM	
3 - 5 BEDROOM	1 - 5 BEDROOM	
124	19	

TOTAL PROJECT	TOTAL PROJECT	HANDICAP ACCESSIBLE
10 - 1 BEDROOM	2 - 1 BEDROOM	
14 - 2 BEDROOM	4 - 2 BEDROOM	
29 - 3 BEDROOM	2 - 3 BEDROOM	
44	6	

TOTAL PROJECT	TOTAL PROJECT	HANDICAP ACCESSIBLE
7 - 2 BEDROOM	2 - 2 BEDROOM	
18 - 3 BEDROOM	2 - 3 BEDROOM	
13 - 4 BEDROOM	2 - 4 BEDROOM	
20 - 5 BEDROOM	1 - 5 BEDROOM	
58	7	

TOTAL PROJECT	TOTAL PROJECT	HANDICAP ACCESSIBLE
17 - 3 BEDROOM	2 - 3 BEDROOM	
10 - 4 BEDROOM	2 - 4 BEDROOM	
10 - 5 BEDROOM	1 - 5 BEDROOM	
37	5	

**CAMBRIDGE PLAZA
REDEVELOPMENT**



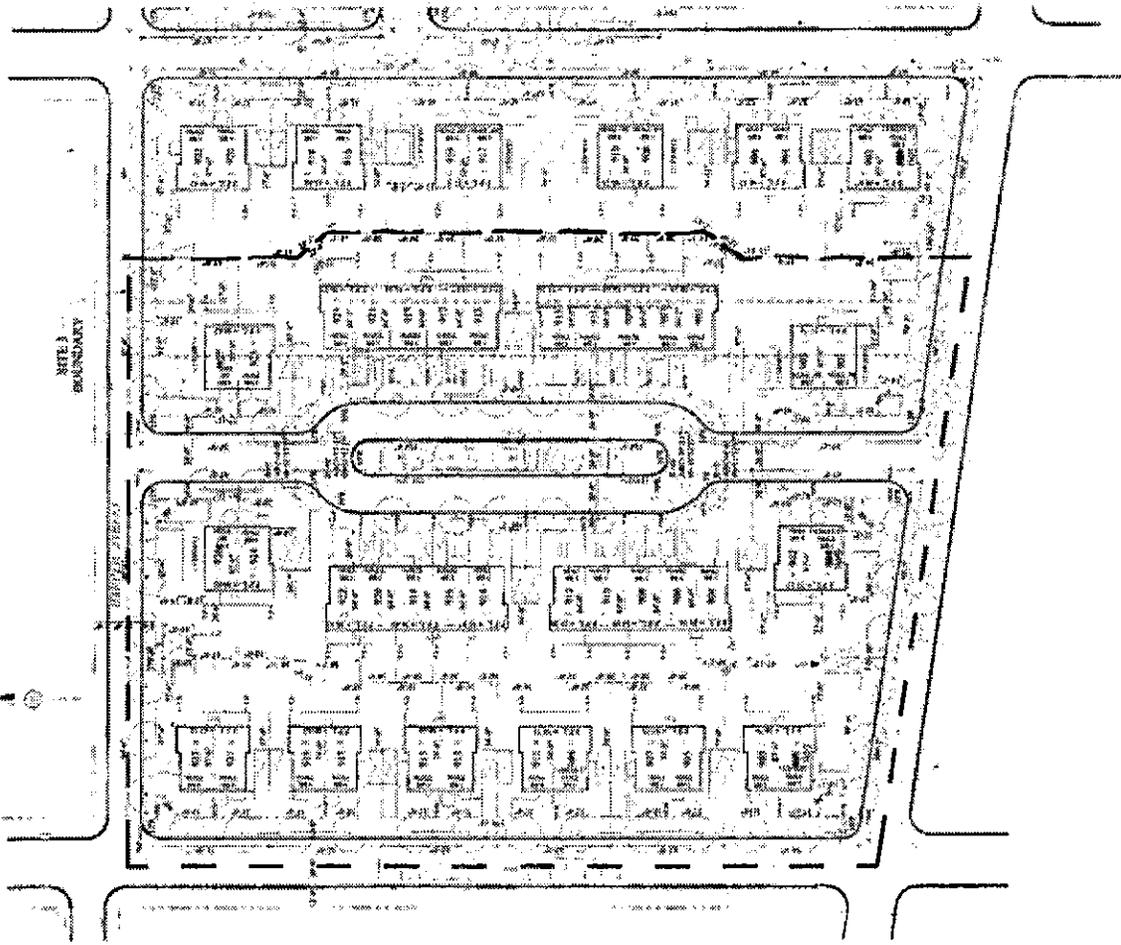
Cambridge Metrics, Incorporated
 115 State Street
 Cambridge, MA 02149
 TEL: 617.452.1000
 FAX: 617.452.1001
 WWW: www.cambridge-metrics.com

**CAMBRIDGE PLAZA
 REDEVELOPMENT**

SITES 3
 ZONING PLAN
 P10-017
 Revised 04/05
Z-3

SITES 3		SITES 4		SITES 5	
NO.	AREA (SQ. FT.)	NO.	AREA (SQ. FT.)	NO.	AREA (SQ. FT.)
101	1000	101	1000	101	1000
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NOTE:
 ALL 2 & 3 STORY BUILDINGS 30'-0" HIGH.
 ALL 3 STORY BUILDINGS 15'-0" INCLUDING REAR
 STORAGE & PORCHES

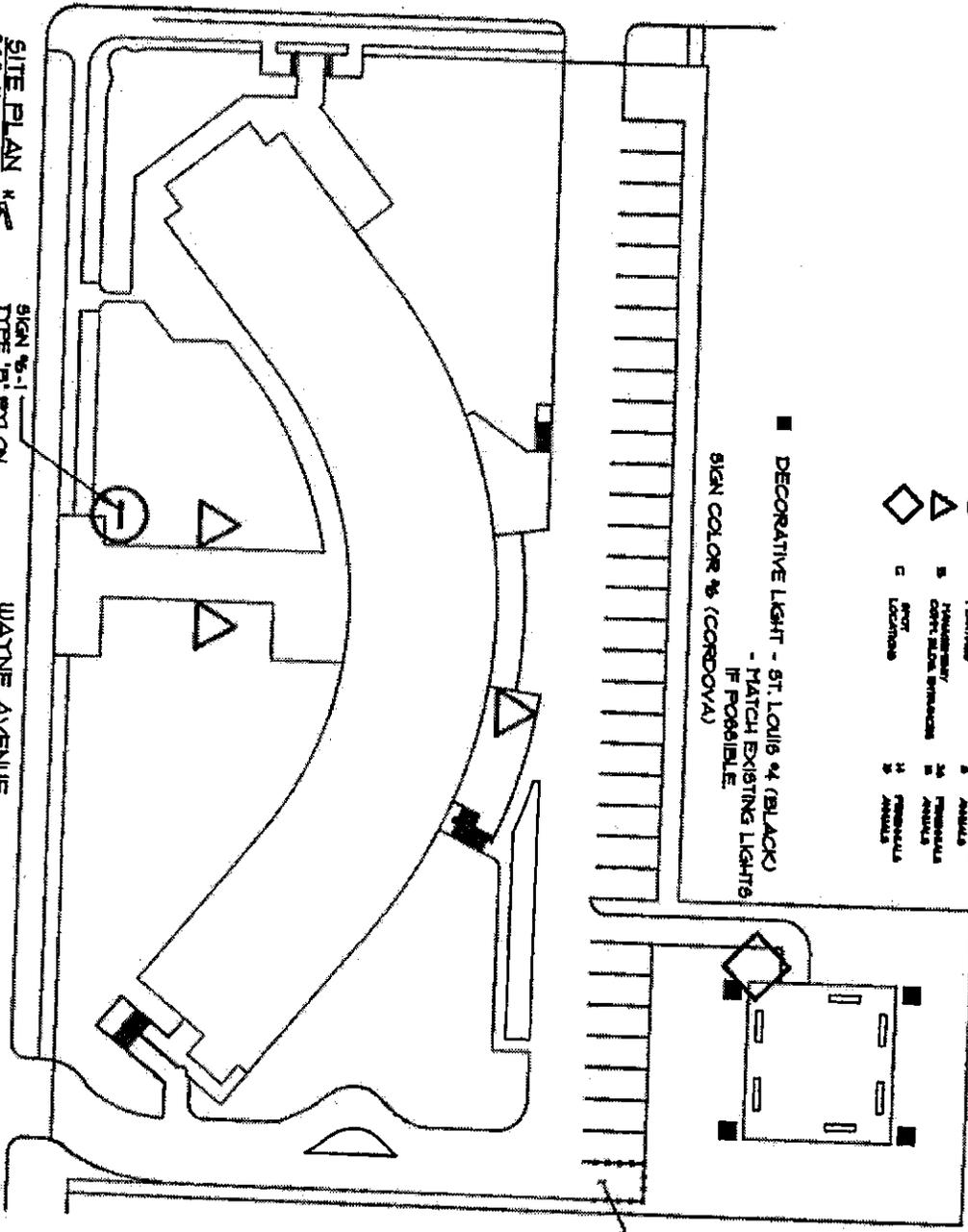


SCHOOL HOUSE LANE

SITE PLAN

SIGN #1
TYPE 'B' Pylon

WAYNE AVENUE



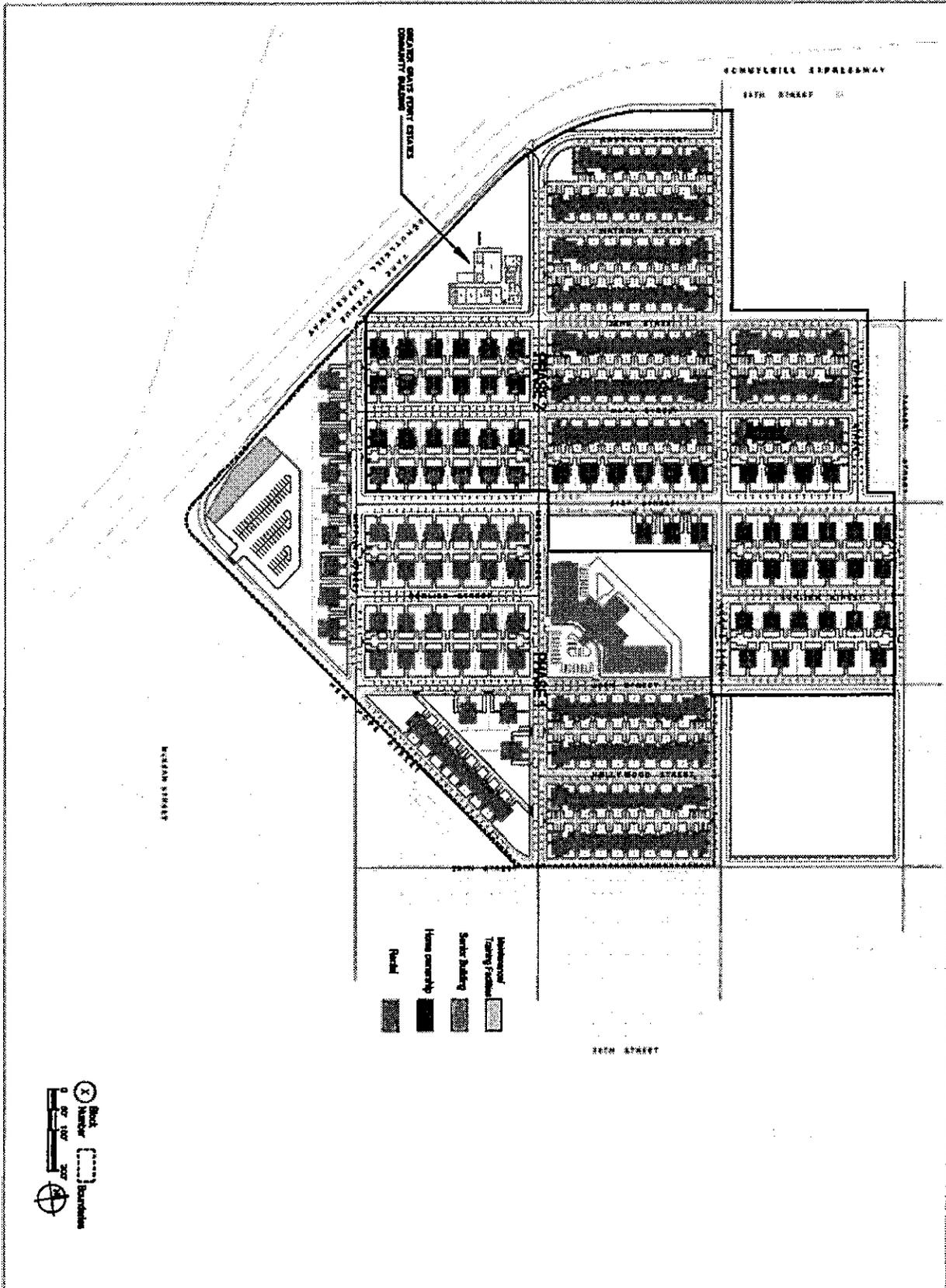
LEGEND

- 1. SIGN
- △ 2. DECORATIVE LIGHT
- 3. TRASH ENCLOSURE LIGHT
- ◇ 4. SIGN COLOR # (CORDOVA)
- 5. SIGN COLOR # (CORDOVA)
- △ 6. SIGN COLOR # (CORDOVA)
- 7. SIGN COLOR # (CORDOVA)
- ◇ 8. SIGN COLOR # (CORDOVA)

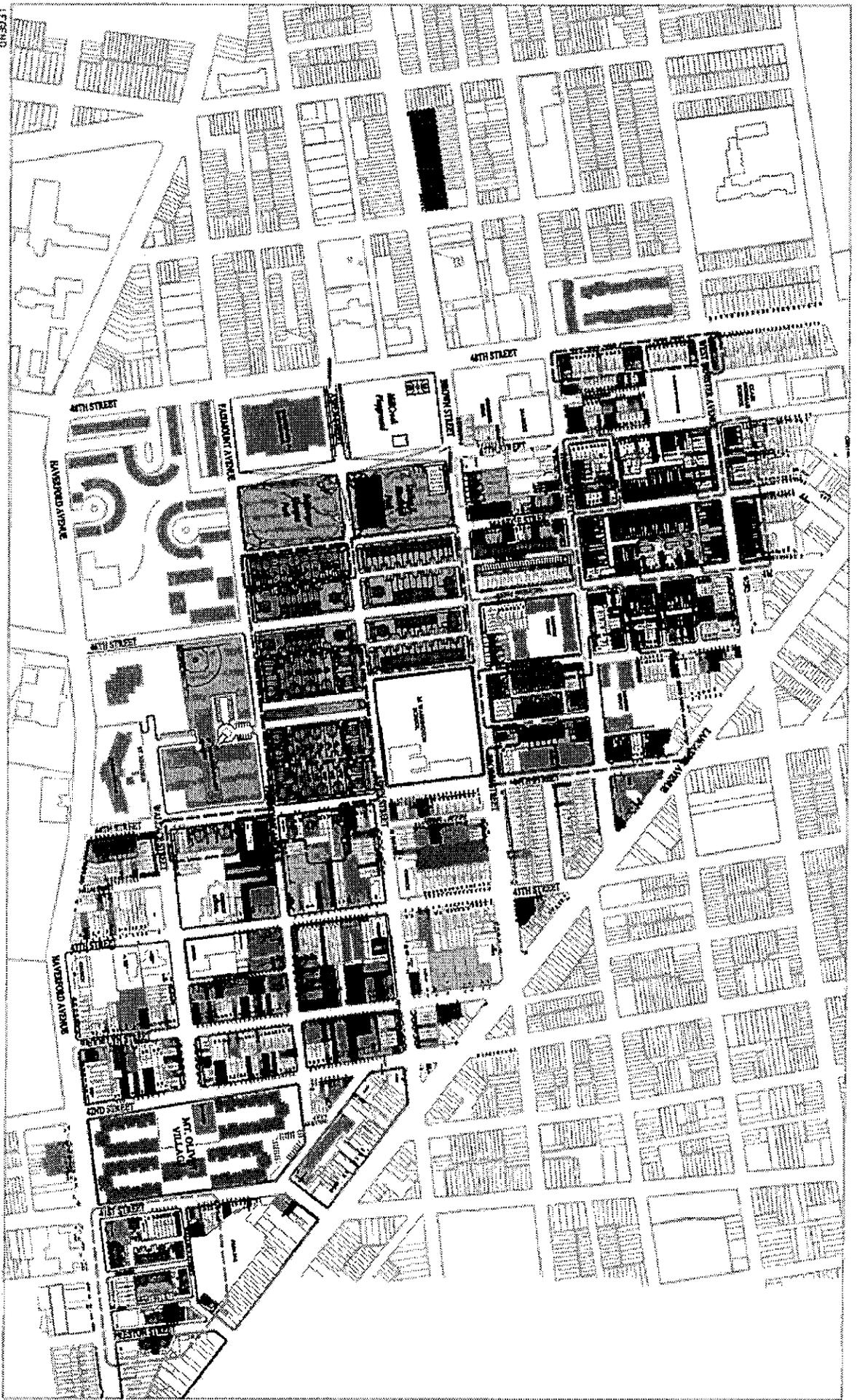
■ DECORATIVE LIGHT - ST. LOUIS #4 (BLACK)
- MATCH EXISTING LIGHTS
IF POSSIBLE.
SIGN COLOR # (CORDOVA)

FENCE FOR TRASH

<p>SPARKLE PLUS PROGRAM-CONVENTIONAL SITES GERMANTOWN HOUSE 1827 WAYNE AVENUE PHILADELPHIA PA 19104</p>		
<p>MASTER SITE PLAN</p>		



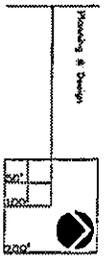
Project No. SK-1	Project Name GREATER GRAYS FERRY STATES COMMUNITY BUILDING	Location PHILADELPHIA, PA		Date of Issue Date of Revision Date of Approval
	Project Site LOCATIONS PLAN	Scale 1" = 100'		
	Prepared by Checked by Approved by			



- PM Development Key
- PM Development #1
- PM Development #2
- PM Rental Key
- First Phase Acquisition Lot Vacant Lots
- Second Phase Acquisition Vacant Buildings
- Third Phase Acquisition 0 Occupied Buildings
- RDA Condomn List
- City Owned
- RDA Owned
- PHDC Owned
- PHA Owned
- RI&D & RDC Owned
- St. Ignace
- Building Sheds
- Bottom of the Sea
- Shuler's Gym
- Word A.M.E. Church
- Phase I 40 On-site Home Owner
- Phase I 20 Off-site Rental
- Phase II 25 Off-site Home Owner
- Phase II 30 Off-site Rental
- Phase III 35 Off-site Home Owner
- Phase III 50 Off-site Rental
- Phase IV 40 On-site Rental
- Phase IV 55 Off-site Rental

LUCIEN E. BLACKWELL HOMES

EXISTING SITE PLAN



Planning & Design

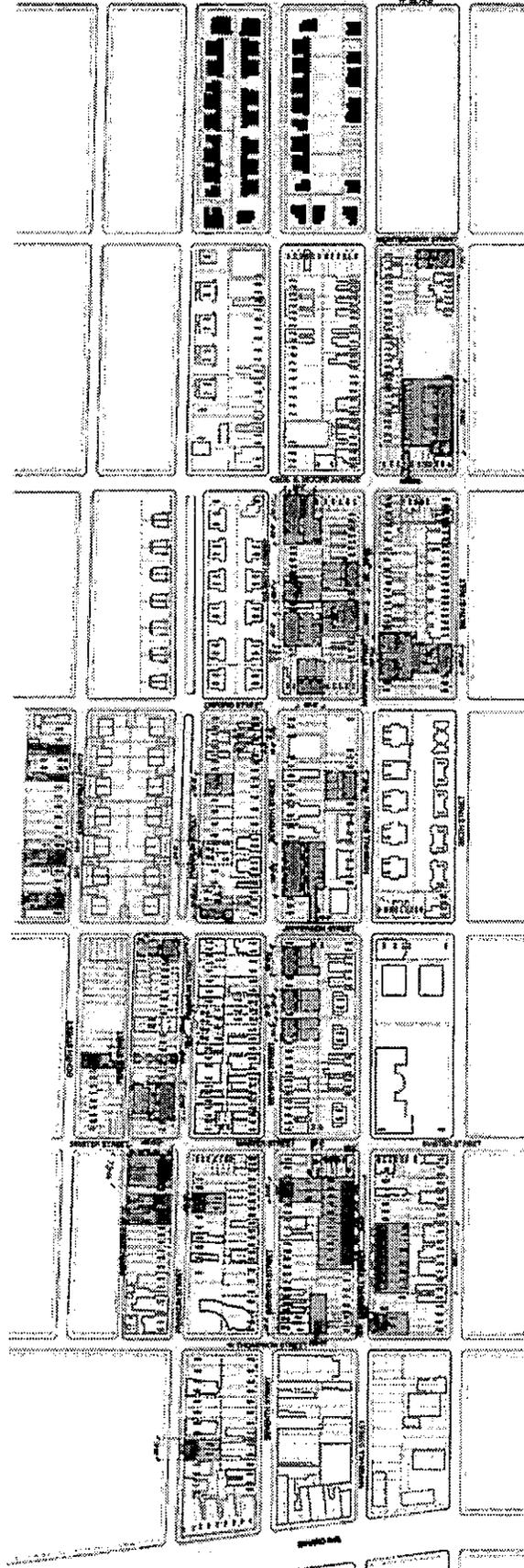
PROJECTIONS PROGRAM SUMMARY (A) UNITS

Ludlow

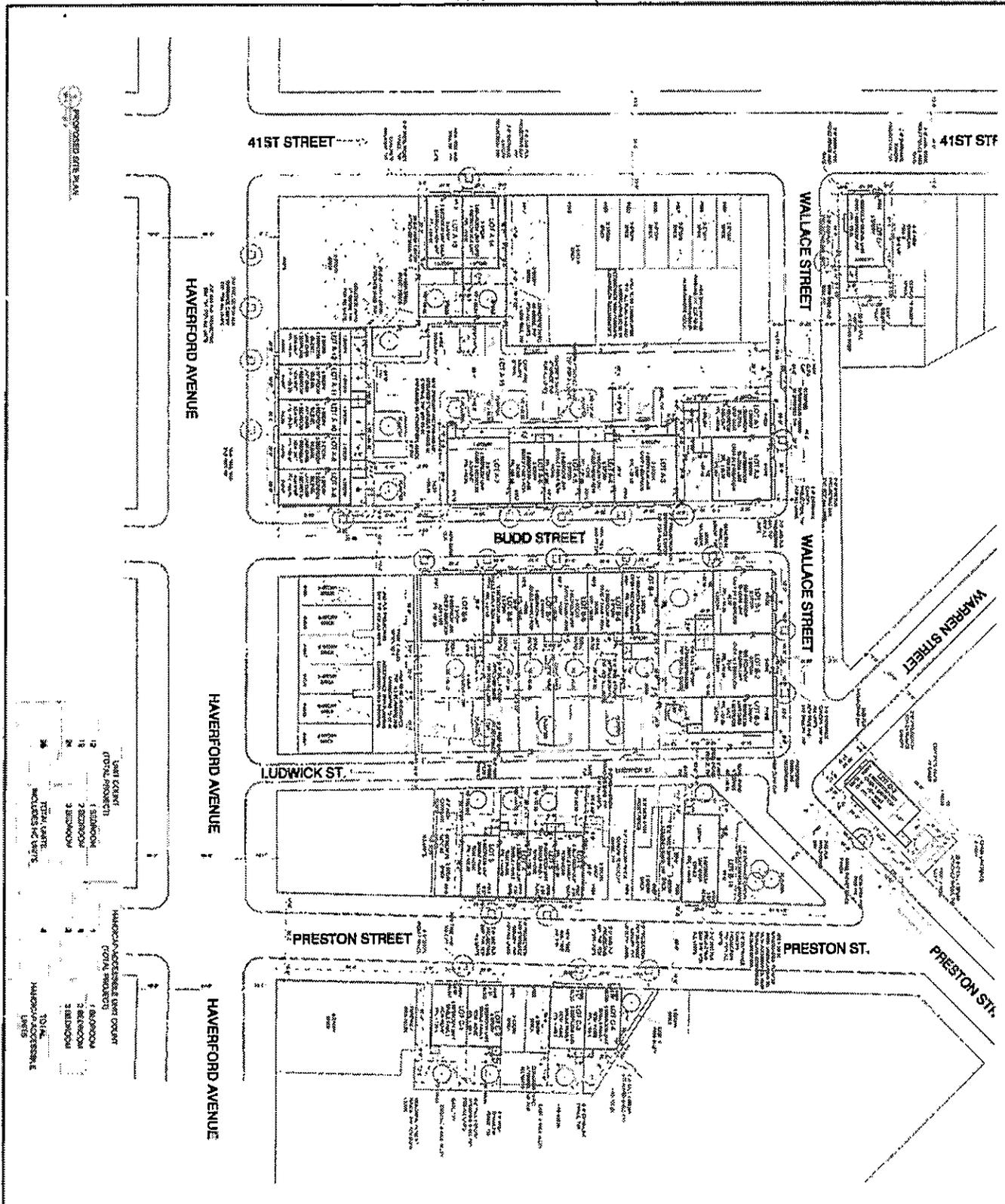
APM Homes

KEY:

- PHASE I
Master Plan
- PHASE II
53 Homeownership Units
- PHASE III
75 Rental Units
1 Management Office
- PHASE IV
32 Homeownership Units
- PHASE V
14 Rental Units



Marshall Shepard



UNIT COUNT	1
TOTAL PROJECTIONS	12
1 BEDROOM	7
2 BEDROOM	2
3 BEDROOM	3
TOTAL	12
TOTAL	12
TOTAL	12

<p>PROPOSED SITE PLAN</p> <p>SP-2</p>	<p>MARSHALL SHEPARD VILLAGE</p>
	<p>Site Plan & Elevation</p> <p>Architect: [Name]</p> <p>Scale: [Scale]</p>



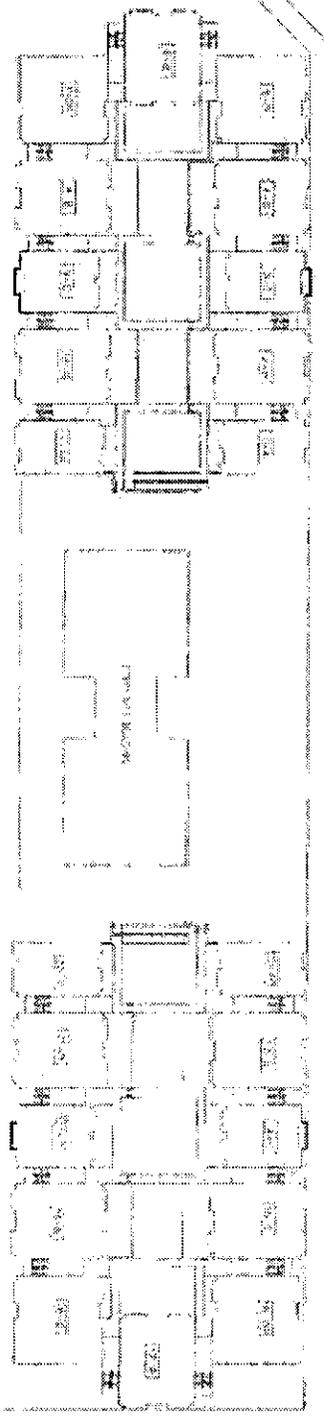
① SITE PLAN ②

**MARTIN LUTHER KING
HOPE VI DEVELOPMENT
Philadelphia PA**

- HOPE VI DEVELOPMENT
- PHASE I - Rental 40
- PHASE II A - HOME 75 A
- PHASE II B - HOME 75 B
- PHASE II C - HOME 55 B
- PHASE II D - Rental 45
- PHASE IV - Rental 42
- Proposed New Phase
- NEW PRIVATE DEVELOPMENT
- PARKS & COMMUNITY CENTER

RENOVATION/REHABILITATION TO MT. OLIVET VILLAGE

642 N. 41ST STREET, PHILADELPHIA, PA



MAY 9, 2003

BARCLAY WHITE
ARCHITECTS
PHILADELPHIA, PA

MAI

PHILADELPHIA DEPARTMENT OF LICENSES AND INSPECTIONS
OFFICE OF THE CITY ENGINEER
1500 ARCHER ST., PHILADELPHIA, PA 19102
TEL: 215-686-1000
WWW.PHILADELPHIA.GOV

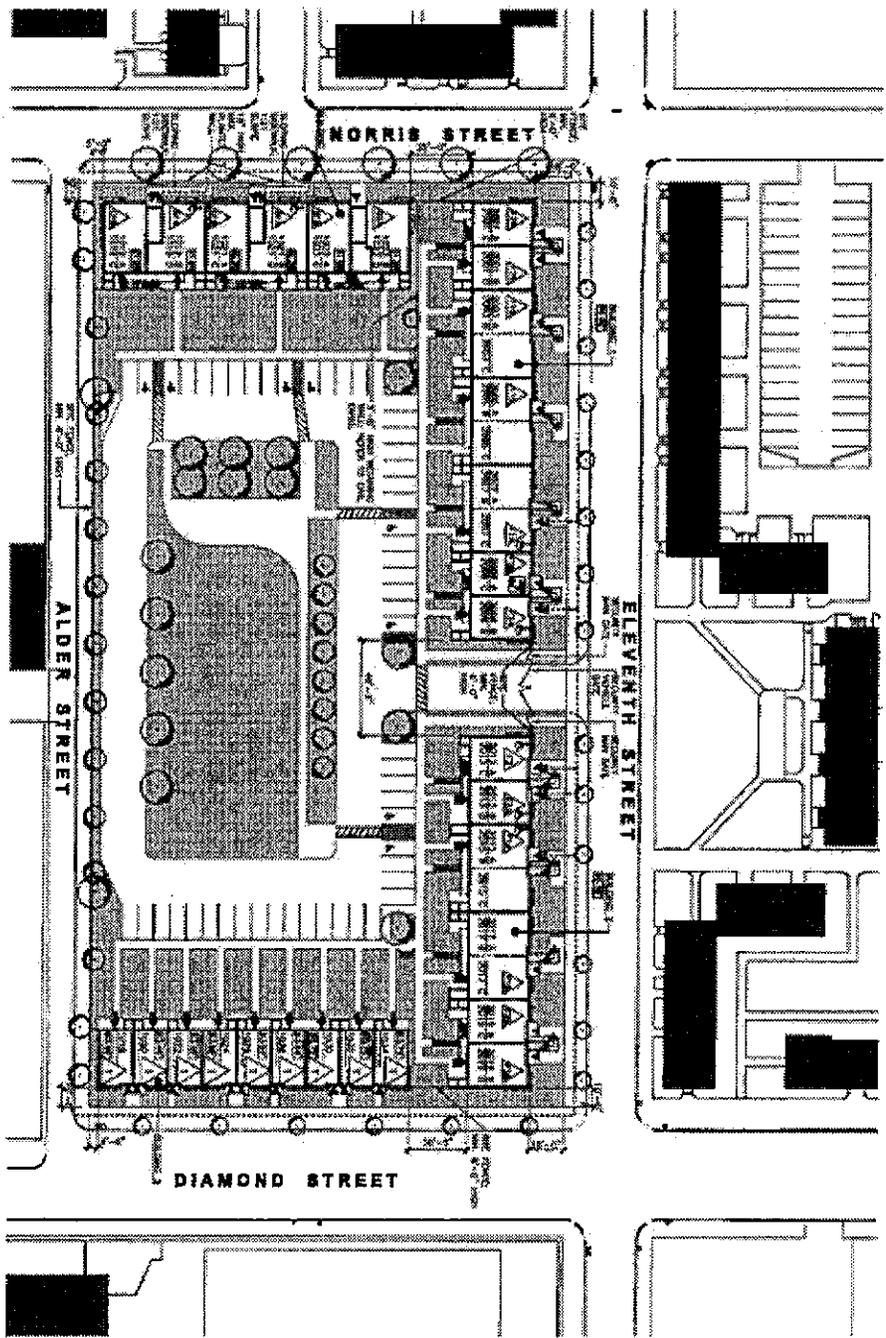
100% CD

ISSUED FOR PERMIT

ADDRESS KEY

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DATE PLAN
REVISIONS



LEGEND

	EXISTING SITE
	PROPOSED SITE
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING PARKING
	PROPOSED PARKING
	EXISTING LANDSCAPE
	PROPOSED LANDSCAPE
	EXISTING UTILITY
	PROPOSED UTILITY
	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING WALL
	PROPOSED WALL
	EXISTING DOOR
	PROPOSED DOOR
	EXISTING WINDOW
	PROPOSED WINDOW
	EXISTING ROOF
	PROPOSED ROOF
	EXISTING FLOOR
	PROPOSED FLOOR
	EXISTING CEILING
	PROPOSED CEILING
	EXISTING FOUNDATION
	PROPOSED FOUNDATION
	EXISTING DRIVEWAY
	PROPOSED DRIVEWAY
	EXISTING RAMP
	PROPOSED RAMP
	EXISTING STAIRS
	PROPOSED STAIRS
	EXISTING ELEVATOR
	PROPOSED ELEVATOR
	EXISTING SHAFT
	PROPOSED SHAFT
	EXISTING CORE
	PROPOSED CORE
	EXISTING COLUMN
	PROPOSED COLUMN
	EXISTING BEAM
	PROPOSED BEAM
	EXISTING SLAB
	PROPOSED SLAB
	EXISTING WALL
	PROPOSED WALL
	EXISTING DOOR
	PROPOSED DOOR
	EXISTING WINDOW
	PROPOSED WINDOW
	EXISTING ROOF
	PROPOSED ROOF
	EXISTING FLOOR
	PROPOSED FLOOR
	EXISTING CEILING
	PROPOSED CEILING
	EXISTING FOUNDATION
	PROPOSED FOUNDATION
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	PROPOSED DRIVEWAY
	EXISTING RAMP
	PROPOSED RAMP
	EXISTING STAIRS
	PROPOSED STAIRS
	EXISTING ELEVATOR
	PROPOSED ELEVATOR
	EXISTING SHAFT
	PROPOSED SHAFT
	EXISTING CORE
	PROPOSED CORE
	EXISTING COLUMN
	PROPOSED COLUMN
	EXISTING BEAM
	PROPOSED BEAM
	EXISTING SLAB
	PROPOSED SLAB

PARKING COUNT

TYPE	NO.
EXISTING	14
PROPOSED	20

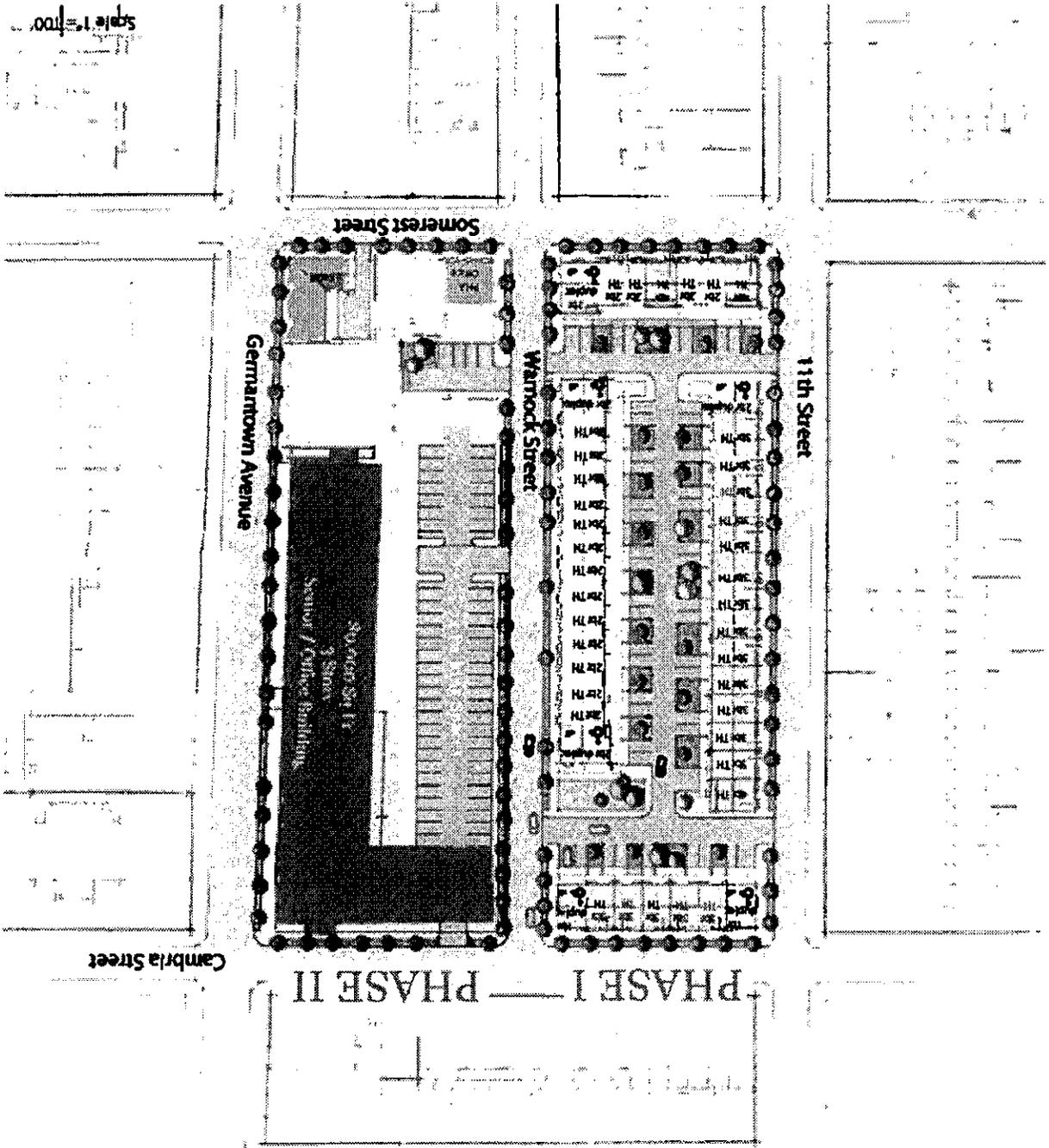
NOTES:

1. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND UPC.
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4. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND UPC.

ARCHITECTURAL SITE PLAN

North Apartments
Renovation
2001-09 N. 11th St.
Pitts., PA 15122

SP1.0



Wainock Phase I + II
 Philadelphia, PA



CONCRETE DESIGN
 1111 MARKET STREET, PHILADELPHIA, PA 19107
 TEL: 215-592-1234
 FAX: 215-592-1235
 WWW: WWW.CONCRETEDESIGN.COM
 ARCHITECT: [Name]
 ENGINEER: [Name]
 DATE: [Date]

Project: Paschel Village
 Phases 1&2
 Philadelphia, PA
 Architect: [Name]
 Engineer: [Name]
 Date: [Date]

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/15/11
2	ISSUED FOR CONSTRUCTION	11/01/11
3	AS BUILT	11/15/11
4	REVISION	12/01/11
5	REVISION	12/15/11
6	REVISION	01/01/12
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366	REVISION	01/01/27
367	REVISION	01/15/27
368	REVISION	02/01/27
369		

SM-1

PHILADELPHIA

DATE	
BY	
CHECKED	
APPROVED	

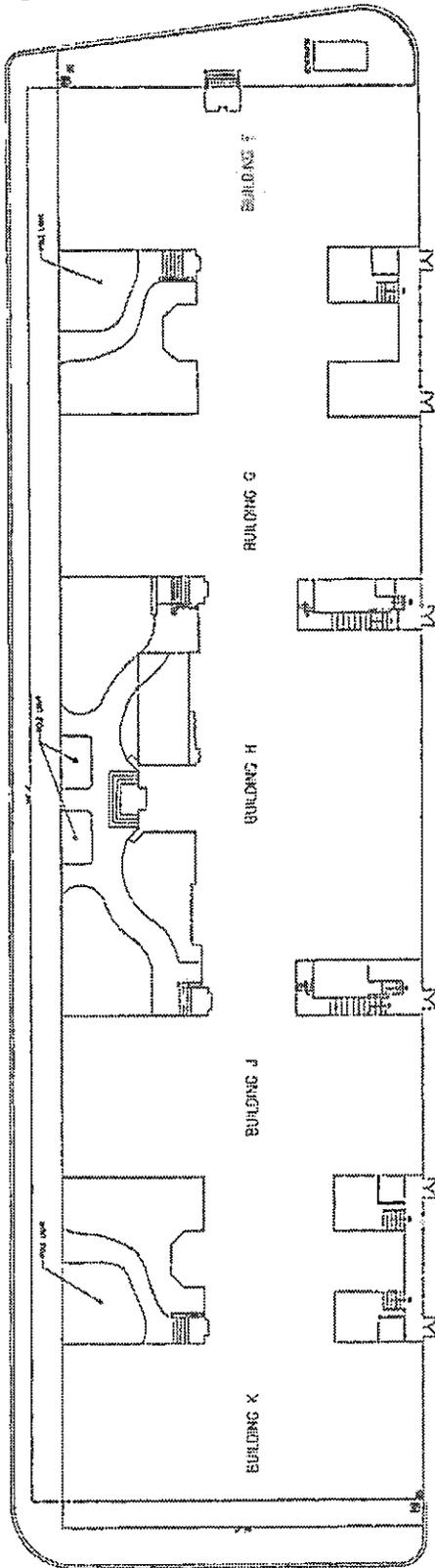
PHA - SUFFOLK MANOR
1416-24 Clearview St
Philadelphia, PA 19141
BACKGROUNDS FOR SCADA

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PHI ENGINEERS
217 BROADWAY, 10TH FLOOR
PHILADELPHIA, PA 19102
TEL: 215-562-1000

CLEARVIEW STREET

15th STREET



- SYMBOL LEGEND**
- ① 15' DIA. MANHOLE
 - ② 18" DIA. MANHOLE
 - ③ 24" DIA. MANHOLE
 - ④ 30" DIA. MANHOLE
 - ⑤ 36" DIA. MANHOLE
 - ⑥ 42" DIA. MANHOLE
 - ⑦ 48" DIA. MANHOLE
 - ⑧ 54" DIA. MANHOLE
 - ⑨ 60" DIA. MANHOLE
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General Conditions for Non-Construction Contracts

Section I – (With or without Maintenance Work)

U.S. Department of Housing and Urban Development

Office of Public and Indian Housing

Office of Labor Relations

OMB Approval No. 2577-0157 (exp. 1/31/2017)

Public Reporting Burden for this collection of information is estimated to average 0.08 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to the Reports Management Officer, Office of Information Policies and Systems, U.S. Department of Housing and Urban Development, Washington, D.C. 20410-3600; and to the Office of Management and Budget, Paperwork Reduction Project (2577-0157), Washington, D.C. 20503. Do not send this completed form to either of these addressees.

Applicability. This form HUD-5370-C has 2 Sections. These Sections must be inserted into non-construction contracts as described below:

- 1) **Non-construction contracts (without maintenance) greater than \$100,000 - use Section I;**
- 2) **Maintenance contracts (including nonroutine maintenance as defined at 24 CFR 968.105) greater than \$2,000 but not more than \$100,000 - use Section II; and**
- 3) **Maintenance contracts (including nonroutine maintenance), greater than \$100,000 – use Sections I and II.**

Section I - Clauses for All Non-Construction Contracts greater than \$100,000

1. Definitions

The following definitions are applicable to this contract:

- (a) "Authority or Housing Authority (HA)" means the Housing Authority.
- (b) "Contract" means the contract entered into between the Authority and the Contractor. It includes the contract form, the Certifications and Representations, these contract clauses, and the scope of work. It includes all formal changes to any of those documents by addendum, Change Order, or other modification.
- (c) "Contractor" means the person or other entity entering into the contract with the Authority to perform all of the work required under the contract.
- (d) "Day" means calendar days, unless otherwise stated.
- (e) "HUD" means the Secretary of Housing and Urban Development, his delegates, successors, and assigns, and the officers and employees of the United States Department of Housing and Urban Development acting for and on behalf of the Secretary.

2. Changes

- (a) The HA may at any time, by written order, and without notice to the sureties, if any, make changes within the general scope of this contract in the services to be performed or supplies to be delivered.
- (b) If any such change causes an increase or decrease in the hourly rate, the not-to-exceed amount of the contract, or the time required for performance of any part of the work under this contract, whether or not changed by the order, or otherwise affects the conditions of this contract, the HA shall make an equitable adjustment in the not-to-exceed amount, the hourly rate, the delivery schedule, or other affected terms, and shall modify the contract accordingly.
- (c) The Contractor must assert its right to an equitable adjustment under this clause within 30 days from the date of receipt of the written order. However, if the HA decides that the facts justify it, the HA may receive and act upon a

- proposal submitted before final payment of the contract.
- (d) Failure to agree to any adjustment shall be a dispute under clause Disputes, herein. However, nothing in this clause shall excuse the Contractor from proceeding with the contract as changed.
- (e) No services for which an additional cost or fee will be charged by the Contractor shall be furnished without the prior written consent of the HA.

3. Termination for Convenience and Default

- (a) The HA may terminate this contract in whole, or from time to time in part, for the HA's convenience or the failure of the Contractor to fulfill the contract obligations (default). The HA shall terminate by delivering to the Contractor a written Notice of Termination specifying the nature, extent, and effective date of the termination. Upon receipt of the notice, the Contractor shall: (i) immediately discontinue all services affected (unless the notice directs otherwise); and (ii) deliver to the HA all information, reports, papers, and other materials accumulated or generated in performing this contract, whether completed or in process.
- (b) If the termination is for the convenience of the HA, the HA shall be liable only for payment for services rendered before the effective date of the termination.
- (c) If the termination is due to the failure of the Contractor to fulfill its obligations under the contract (default), the HA may (i) require the Contractor to deliver to it, in the manner and to the extent directed by the HA, any work as described in subparagraph (a)(ii) above, and compensation be determined in accordance with the Changes clause, paragraph 2, above; (ii) take over the work and prosecute the same to completion by contract or otherwise, and the Contractor shall be liable for any additional cost incurred by the HA; (iii) withhold any payments to the Contractor, for the purpose of off-set or partial payment, as the case may be, of amounts owed to the HA by the Contractor.
- (d) If, after termination for failure to fulfill contract obligations (default), it is determined that the Contractor had not failed, the termination shall be deemed to have been effected for the convenience of the HA, and the Contractor shall be entitled to payment as described in paragraph (b) above.
- (e) Any disputes with regard to this clause are expressly made subject to the terms of clause titled Disputes herein.

4. Examination and Retention of Contractor's Records

- (a) The HA, HUD, or Comptroller General of the United States, or any of their duly authorized representatives shall, until 3 years after final payment under this contract, have access to and the right to examine any of the Contractor's directly pertinent books, documents, papers, or other records involving transactions related to this contract for the purpose of making audit, examination, excerpts, and transcriptions.

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- (b) The Contractor agrees to include in first-tier subcontracts under this contract a clause substantially the same as paragraph (a) above. "Subcontract," as used in this clause, excludes purchase orders not exceeding \$10,000.
- (c) The periods of access and examination in paragraphs (a) and (b) above for records relating to:
- (i) appeals under the clause titled Disputes;
 - (ii) litigation or settlement of claims arising from the performance of this contract; or,
 - (iii) costs and expenses of this contract to which the HA, HUD, or Comptroller General or any of their duly authorized representatives has taken exception shall continue until disposition of such appeals, litigation, claims, or exceptions.

5. Rights in Data (Ownership and Proprietary Interest)

The HA shall have exclusive ownership of, all proprietary interest in, and the right to full and exclusive possession of all information, materials and documents discovered or produced by Contractor pursuant to the terms of this Contract, including but not limited to reports, memoranda or letters concerning the research and reporting tasks of this Contract.

6. Energy Efficiency

The contractor shall comply with all mandatory standards and policies relating to energy efficiency which are contained in the energy conservation plan issued in compliance with the Energy Policy and Conservation Act (Pub.L. 94-163) for the State in which the work under this contract is performed.

7. Disputes

- (a) All disputes arising under or relating to this contract, except for disputes arising under clauses contained in Section III, Labor Standards Provisions, including any claims for damages for the alleged breach there of which are not disposed of by agreement, shall be resolved under this clause.
- (b) All claims by the Contractor shall be made in writing and submitted to the HA. A claim by the HA against the Contractor shall be subject to a written decision by the HA.
- (c) The HA shall, with reasonable promptness, but in no event in no more than 60 days, render a decision concerning any claim hereunder. Unless the Contractor, within 30 days after receipt of the HA's decision, shall notify the HA in writing that it takes exception to such decision, the decision shall be final and conclusive.
- (d) Provided the Contractor has (i) given the notice within the time stated in paragraph (c) above, and (ii) excepted its claim relating to such decision from the final release, and (iii) brought suit against the HA not later than one year after receipt of final payment, or if final payment has not been made, not later than one year after the Contractor has had a reasonable time to respond to a written request by the HA that it submit a final voucher and release, whichever is earlier, then the HA's decision shall not be final or conclusive, but the dispute shall be determined on the merits by a court of competent jurisdiction.
- (e) The Contractor shall proceed diligently with performance of this contract, pending final resolution of any request for relief, claim, appeal, or action arising under the contract, and comply with any decision of the HA.

8. Contract Termination; Debarment

A breach of these Contract clauses may be grounds for termination of the Contract and for debarment or denial of participation in HUD programs as a Contractor and a subcontractor as provided in 24 CFR Part 24.

9. Assignment of Contract

The Contractor shall not assign or transfer any interest in this contract; except that claims for monies due or to become due from the HA under the contract may be assigned to a bank, trust company, or other financial institution. If the Contractor is a partnership, this contract shall inure to the benefit of the surviving or remaining member(s) of such partnership approved by the HA.

10. Certificate and Release

Prior to final payment under this contract, or prior to settlement upon termination of this contract, and as a condition precedent thereto, the Contractor shall execute and deliver to the HA a certificate and release, in a form acceptable to the HA, of all claims against the HA by the Contractor under and by virtue of this contract, other than such claims, if any, as may be specifically excepted by the Contractor in stated amounts set forth therein.

11. Organizational Conflicts of Interest

- (a) The Contractor warrants that to the best of its knowledge and belief and except as otherwise disclosed, it does not have any organizational conflict of interest which is defined as a situation in which the nature of work under this contract and a contractor's organizational, financial, contractual or other interests are such that:
 - (i) Award of the contract may result in an unfair competitive advantage; or
 - (ii) The Contractor's objectivity in performing the contract work may be impaired.
- (b) The Contractor agrees that if after award it discovers an organizational conflict of interest with respect to this contract or any task/delivery order under the contract, he or she shall make an immediate and full disclosure in writing to the Contracting Officer which shall include a description of the action which the Contractor has taken or intends to take to eliminate or neutralize the conflict. The HA may, however, terminate the contract or task/delivery order for the convenience of the HA if it would be in the best interest of the HA.
- (c) In the event the Contractor was aware of an organizational conflict of interest before the award of this contract and intentionally did not disclose the conflict to the Contracting Officer, the HA may terminate the contract for default.
- (d) The terms of this clause shall be included in all subcontracts and consulting agreements wherein the work to be performed is similar to the service provided by the prime Contractor. The Contractor shall include in such subcontracts and consulting agreements any necessary provisions to eliminate or neutralize conflicts of interest.

12. Inspection and Acceptance

- (a) The HA has the right to review, require correction, if necessary, and accept the work products produced by the Contractor. Such review(s) shall be carried out within 30 days so as to not impede the work of the Contractor. Any

product of work shall be deemed accepted as submitted if the HA does not issue written comments and/or required corrections within 30 days from the date of receipt of such product from the Contractor.

- (b) The Contractor shall make any required corrections promptly at no additional charge and return a revised copy of the product to the HA within 7 days of notification or a later date if extended by the HA.
- (c) Failure by the Contractor to proceed with reasonable promptness to make necessary corrections shall be a default. If the Contractor's submission of corrected work remains unacceptable, the HA may terminate this contract (or the task order involved) or reduce the contract price or cost to reflect the reduced value of services received.

13. Interest of Members of Congress

No member of or delegate to the Congress of the United States of America or Resident Commissioner shall be admitted to any share or part of this contract or to any benefit to arise there from, but this provision shall not be construed to extend to this contract if made with a corporation for its general benefit.

14. Interest of Members, Officers, or Employees and Former Members, Officers, or Employees

No member, officer, or employee of the HA, no member of the governing body of the locality in which the project is situated, no member of the governing body in which the HA was activated, and no other public official of such locality or localities who exercises any functions or responsibilities with respect to the project, shall, during his or her tenure, or for one year thereafter, have any interest, direct or indirect, in this contract or the proceeds thereof.

15. Limitation on Payments to Influence Certain Federal Transactions

(a) Definitions. As used in this clause:

"Agency", as defined in 5 U.S.C. 552(f), includes Federal executive departments and agencies as well as independent regulatory commissions and Government corporations, as defined in 31 U.S.C. 9101(1).

"Covered Federal Action" means any of the following Federal actions:

- (i) The awarding of any Federal contract;
- (ii) The making of any Federal grant;
- (iii) The making of any Federal loan;
- (iv) The entering into of any cooperative agreement; and,
- (v) The extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.

Covered Federal action does not include receiving from an agency a commitment providing for the United States to insure or guarantee a loan.

"Indian tribe" and "tribal organization" have the meaning provided in section 4 of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 450B). Alaskan Natives are included under the definitions of Indian tribes in that Act.

"Influencing or attempting to influence" means making, with the intent to influence, any communication to or appearance before an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with any covered Federal action.

"Local government" means a unit of government in a State and, if chartered, established, or otherwise recognized by a State for the performance of a governmental duty, including a local public authority, a special district, an intrastate district, a council of governments, a sponsor group representative organization, and any other instrumentality of a local government.

"Officer or employee of an agency" includes the following individuals who are employed by an agency:

- (i) An individual who is appointed to a position in the Government under title 5, U.S.C., including a position under a temporary appointment;
- (ii) A member of the uniformed services as defined in section 202, title 18, U.S.C.;
- (iii) A special Government employee as defined in section 202, title 18, U.S.C.; and,
- (iv) An individual who is a member of a Federal advisory committee, as defined by the Federal Advisory Committee Act, title 5, appendix 2.

"Person" means an individual, corporation, company, association, authority, firm, partnership, society, State, and local government, regardless of whether such entity is operated for profit or not for profit. This term excludes an Indian tribe, tribal organization, or other Indian organization with respect to expenditures specifically permitted by other Federal law.

"Recipient" includes all contractors, subcontractors at any tier, and subgrantees at any tier of the recipient of funds received in connection with a Federal contract, grant, loan, or cooperative agreement. The term excludes an Indian tribe, tribal organization, or any other Indian organization with respect to expenditures specifically permitted by other Federal law.

"Regularly employed means, with respect to an officer or employee of a person requesting or receiving a Federal contract, grant, loan, or cooperative agreement, an officer or employee who is employed by such person for at least 130 working days within one year immediately preceding the date of the submission that initiates agency consideration of such person for receipt of such contract, grant, loan, or cooperative agreement. An officer or employee who is employed by such person for less than 130 working days within one year immediately preceding the date of submission that initiates agency consideration of such person shall be considered to be regularly employed as soon as he or she is employed by such person for 130 working days.

"State" means a State of the United States, the District of Columbia, the Commonwealth of Puerto Rico, a territory or possession of the United States, an agency or instrumentality of a State, and a multi-State, regional, or interstate entity having governmental duties and powers.

(b) Prohibition.

- (i) Section 1352 of title 31, U.S.C. provides in part that no appropriated funds may be expended by the recipient of a Federal contract, grant, loan, or cooperative agreement to pay any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with any of the following covered Federal actions: the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.

- (ii) The prohibition does not apply as follows:

(1) Agency and legislative liaison by Own Employees.

(a) The prohibition on the use of appropriated funds, in paragraph (i) of this section, does not apply in the case of a payment of reasonable compensation made to an officer or employee of a person requesting or receiving a Federal contract, grant, loan, or cooperative agreement, if the payment is for agency and legislative activities not directly related to a covered Federal action.

(b) For purposes of paragraph (b)(i)(1)(a) of this clause, providing any information specifically requested by an agency or Congress is permitted at any time.

(c) The following agency and legislative liaison activities are permitted at any time only where they are not related to a specific solicitation for any covered Federal action:

(1) Discussing with an agency (including individual demonstrations) the qualities and characteristics of the person's products or services, conditions or terms of sale, and service capabilities; and,

(2) Technical discussions and other activities regarding the application or adaptation of the person's products or services for an agency's use.

(d) The following agency and legislative liaison activities are permitted where they are prior to formal solicitation of any covered Federal action:

(1) Providing any information not specifically requested but necessary for an agency to make an informed decision about initiation of a covered Federal action;

(2) Technical discussions regarding the preparation of an unsolicited proposal prior to its official submission; and

(3) Capability presentations by persons seeking awards from an agency pursuant to the provisions of the Small Business Act, as amended by Public Law 95-507 and other subsequent amendments.

(e) Only those activities expressly authorized by subdivision (b)(ii)(1)(a) of this clause are permitted under this clause.

(2) Professional and technical services.

(a) The prohibition on the use of appropriated funds, in subparagraph (b)(i) of this clause, does not apply in the case of-

(i) A payment of reasonable compensation made to an officer or employee of a person requesting or receiving a covered Federal action or an extension, continuation, renewal, amendment, or modification of a covered Federal action, if payment is for professional or technical services rendered directly in the preparation, submission, or negotiation of any bid, proposal, or application for that Federal action or for meeting requirements imposed by or pursuant to law as a condition for receiving that Federal action.

(ii) Any reasonable payment to a person, other than an officer or employee of a

person requesting or receiving a covered Federal action or an extension, continuation, renewal, amendment, or modification of a covered Federal action if the payment is for professional or technical services rendered directly in the preparation, submission, or negotiation of any bid, proposal, or application for that Federal action or for meeting requirements imposed by or pursuant to law as a condition for receiving that Federal action. Persons other than officers or employees of a person requesting or receiving a covered Federal action include consultants and trade associations.

(b) For purposes of subdivision (b)(ii)(2)(a) of clause, "professional and technical services" shall be limited to advice and analysis directly applying any professional or technical discipline.

(c) Requirements imposed by or pursuant to law as a condition for receiving a covered Federal award include those required by law or regulation, or reasonably expected to be required by law or regulation, and any other requirements in the actual award documents.

(d) Only those services expressly authorized by subdivisions (b)(ii)(2)(a)(i) and (ii) of this section are permitted under this clause.

(iii) Selling activities by independent sales representatives.

(c) The prohibition on the use of appropriated funds, in subparagraph (b)(i) of this clause, does not apply to the following selling activities before an agency by independent sales representatives, provided such activities are prior to formal solicitation by an agency and are specifically limited to the merits of the matter:

(i) Discussing with an agency (including individual demonstration) the qualities and characteristics of the person's products or services, conditions or terms of sale, and service capabilities; and

(ii) Technical discussions and other activities regarding the application or adaptation of the person's products or services for an agency's use.

(d) Agreement. In accepting any contract, grant, cooperative agreement, or loan resulting from this solicitation, the person submitting the offer agrees not to make any payment prohibited by this clause.

(e) Penalties. Any person who makes an expenditure prohibited under paragraph (b) of this clause shall be subject to civil penalties as provided for by 31 U.S.C. 1352. An imposition of a civil penalty does not prevent the Government from seeking any other remedy that may be applicable.

(f) Cost Allowability. Nothing in this clause is to be interpreted to make allowable or reasonable any costs which would be unallowable or unreasonable in accordance with Part 31 of the Federal Acquisition Regulation (FAR), or OMB Circulars dealing with cost allowability for recipients of assistance agreements. Conversely, costs made specifically unallowable by the requirements in this clause will not be made allowable under any of the provisions of FAR Part 31 or the relevant OMB Circulars.

16. Equal Employment Opportunity

During the performance of this contract, the Contractor agrees as follows:

- (a) The Contractor shall not discriminate against any employee or applicant for employment because of race, color, religion, sex, or national origin.
- (b) The Contractor shall take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, or national origin. Such action shall include, but not be limited to (1) employment; (2) upgrading; (3) demotion; (4) transfer; (5) recruitment or recruitment advertising; (6) layoff or termination; (7) rates of pay or other forms of compensation; and (8) selection for training, including apprenticeship.
- (c) The Contractor shall post in conspicuous places available to employees and applicants for employment the notices to be provided by the Contracting Officer that explain this clause.
- (d) The Contractor shall, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, or national origin.
- (e) The Contractor shall send, to each labor union or representative of workers with which it has a collective bargaining agreement or other contract or understanding, the notice to be provided by the Contracting Officer advising the labor union or workers' representative of the Contractor's commitments under this clause, and post copies of the notice in conspicuous places available to employees and applicants for employment.
- (f) The Contractor shall comply with Executive Order 11246, as amended, and the rules, regulations, and orders of the Secretary of Labor.
- (g) The Contractor shall furnish all information and reports required by Executive Order 11246, as amended and by rules, regulations, and orders of the Secretary of Labor, or pursuant thereto. The Contractor shall permit access to its books, records, and accounts by the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations, and orders.
- (h) In the event of a determination that the Contractor is not in compliance with this clause or any rule, regulation, or order of the Secretary of Labor, this contract may be canceled, terminated, or suspended in whole or in part, and the Contractor may be declared ineligible for further Government contracts, or federally assisted construction contracts under the procedures authorized in Executive Order 11246, as amended. In addition, sanctions may be imposed and remedies invoked against the Contractor as provided in Executive Order 11246, as amended, the rules, regulations, and orders of the Secretary of Labor, or as otherwise provided by law.
- (i) The Contractor shall include the terms and conditions of this clause in every subcontract or purchase order unless exempted by the rules, regulations, or orders of the Secretary of Labor issued under Executive Order 11246, as amended, so that these terms and conditions will be binding upon each subcontractor or vendor. The Contractor shall take such action with respect to any subcontractor or purchase order as the Secretary of Housing and Urban Development or the Secretary of Labor may direct as a means of enforcing such provisions, including sanctions for noncompliance; provided that if the

Contractor becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction, the Contractor may request the United States to enter into the litigation to protect the interests of the United States.

17. Dissemination or Disclosure of Information

No information or material shall be disseminated or disclosed to the general public, the news media, or any person or organization without prior express written approval by the HA.

18. Contractor's Status

It is understood that the Contractor is an independent contractor and is not to be considered an employee of the HA, or assume any right, privilege or duties of an employee, and shall save harmless the HA and its employees from claims suits, actions and costs of every description resulting from the Contractor's activities on behalf of the HA in connection with this Agreement.

19. Other Contractors

HA may undertake or award other contracts for additional work at or near the site(s) of the work under this contract. The contractor shall fully cooperate with the other contractors and with HA and HUD employees and shall carefully adapt scheduling and performing the work under this contract to accommodate the additional work, heeding any direction that may be provided by the Contracting Officer. The contractor shall not commit or permit any act that will interfere with the performance of work by any other contractor or HA employee.

20. Liens

The Contractor is prohibited from placing a lien on HA's property. This prohibition shall apply to all subcontractors.

21. Training and Employment Opportunities for Residents in the Project Area (Section 3, HUD Act of 1968; 24 CFR 135)

- (a) The work to be performed under this contract is subject to the requirements of section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (section 3). The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- (b) The parties to this contract agree to comply with HUD's regulations in 24 CFR Part 135, which implement section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with the Part 135 regulations.
- (c) The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, shall set forth minimum number and job titles subject to hire, availability of

apprenticeship and training positions, the qualifications for each; and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

- (d) The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR Part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR Part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 135.
- (e) The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR Part 135 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR Part 135.
- (f) Noncompliance with HUD's regulations in 24 CFR Part 135 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

22. Procurement of Recovered Materials

- (a) In accordance with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act, the Contractor shall procure items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR Part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition. The Contractor shall procure items designated in the EPA guidelines that contain the highest percentage of recovered materials practicable unless the Contractor determines that such items: (1) are not reasonably available in a reasonable period of time; (2) fail to meet reasonable performance standards, which shall be determined on the basis of the guidelines of the National Institute of Standards and Technology, if applicable to the item; or (3) are only available at an unreasonable price.
- (b) Paragraph (a) of this clause shall apply to items purchased under this contract where: (1) the Contractor purchases in excess of \$10,000 of the item under this contract; or (2) during the preceding Federal fiscal year, the Contractor: (i) purchased any amount of the items for use under a contract that was funded with Federal appropriations and was with a Federal agency or a State agency or agency of a political subdivision of a State; and (ii) purchased a total of in excess of \$10,000 of the item both under and outside that contract.



**E. TERMS & CONDITIONS
SECTION II. PHA STANDARD TERMS & CONDITIONS**

1. Minimum Acceptance Period

- a. "Acceptance period," as used in this provision, means the number of calendar days available to PHA for awarding a contract from the date specified in this solicitation for receipt of proposals.
- b. PHA requires a minimum acceptance period of 90 calendar days. If the award is delayed by a required approval of another governing agency, then the acceptance period shall be 120 days.
- c. A proposal allowing less than the PHA's minimum acceptance period will be rejected.

2. Billing and Payment

- a. The Contractor shall submit invoices to the PHA as provided pursuant to the terms of this Contract. Invoices must show the type of service performed and the amount charged to the Contract during the billing period. PHA's billing address is:

Philadelphia Housing Authority
Attn: Contract Administration
P.O. Box 8737
Philadelphia, PA 19104-9742
- b. PHA shall exert its best efforts to pay the Contractor within forty-five (45) days of receipt of an accurate/uncontested invoice, given fulfillment of deliverable(s), and if Contractor is in compliance with all Contract terms and conditions. PHA reserves the right to withhold payment for performance deficiencies.
- c. No interest shall be payable to the Contractor from PHA for delayed progress or final payment.

3. PHA Option for Payment by Electronic Funds Transfer

- a. At PHA's option:
 - i. All payments by PHA under this Contract shall be made by electronic funds transfer (EFT) except as provided in paragraph (a)(ii) of this clause. As used in this clause, the term EFT refers to the funds transfer and may also include the payment information transfer.
 - ii. In the event PHA is unable to release one or more payments by EFT, the Contractor agrees to either (1) Accept payment by check or some other mutually agreeable method of payment; or (2) Request PHA to extend payment due dates until such time as PHA makes payment by EFT (but see paragraph (d) of this clause).
- b. Mandatory submission of Contractor's EFT information.
 - i. The Contractor is required to provide PHA with the information required to make payment by EFT (see paragraph (j) of this clause). The Contractor shall provide this information directly to the office designated in this Contract to receive that information (hereafter: designated office) within 10 days after award of the Contract. If not otherwise specified in this Contract, the payment office is the designated office

for receipt of the Contractor's EFT information. If more than one designated office is named for the Contract, the Contractor shall provide a separate notice to each office. In the event that the EFT information changes, the Contractor shall be responsible for providing the updated information to the designated office(s).

- ii. If the Contractor provides EFT information applicable to multiple contracts, the Contractor shall specifically state the applicability of this EFT information in terms acceptable to the designated office.

However, EFT information supplied to a designated office shall be applicable only to contracts that identify that designated office as the office to receive EFT information for that contract.

- c. Mechanisms for EFT payment. PHA may make payment by EFT through either the Automated Clearing House (ACH) network, subject to the rules of the National Automated Clearing House Association, or the Fedwire Transfer System. The rules governing Federal payments through the ACH are contained in 31 CFR Part 210.
- d. Suspension of payment.
 - i. PHA is not required to make any payment under this Contract until after receipt, by the designated office, of the correct EFT payment information from the Contractor. Until receipt of the correct EFT information, any invoice or contract financing request shall be deemed not to be a proper invoice for the purpose of prompt payment under this Contract. The prompt payment terms of the Contract regarding notice of an improper invoice and delays in accrual of interest penalties apply.
 - ii. If the EFT information changes after submission of correct EFT information, PHA shall begin using the changed EFT information no later than 30 days after its receipt by the designated office to the extent payment is made by EFT. However, the Contractor may request that no further payments be made until the updated EFT information is implemented by the payment office. If such suspension would result in a late payment under the prompt payment terms of this Contract, the Contractor's request for suspension shall extend the due date for payment by the number of days of the suspension.
- e. Liability for uncompleted or erroneous transfers.
 - i. If an uncompleted or erroneous transfer occurs because PHA used the Contractor's EFT information incorrectly, PHA remains responsible for (1) Making a correct payment; (2) Paying any prompt payment penalty due; and (3) Recovering any erroneously directed funds.
 - ii. If an uncompleted or erroneous transfer occurs because the Contractor's EFT information was incorrect, or was revised within 30 days of Government release of the EFT payment transaction instruction to the Federal Reserve System, and (1) If the funds are no longer under the control of the payment office, PHA is deemed to have made payment and the Contractor is responsible for recovery of any erroneously directed funds; or (2) If the funds remain under the control of the payment office, PHA shall not make payment and the provisions of paragraph (d) shall apply.
- f. EFT and prompt payment. A payment shall be deemed to have been made in a timely manner in accordance with the prompt payment terms of this Contract if, in the EFT payment transaction instruction released to the Federal Reserve System, the date specified for settlement of the payment is on or before the prompt payment due date, provided the specified payment date is a valid date under the rules of the Federal Reserve System.
- g. EFT and assignment of claims. If the Contractor assigns the proceeds of this Contract as provided for in the assignment of claims terms of this Contract, the Contractor shall require as a condition of any such assignment, that the assignee shall provide the EFT information required by paragraph (j) of this clause to the designated office, and shall be paid by EFT in accordance with the terms of this clause. In all respects, the requirements of this clause shall apply to the assignee as if it were the Contractor. EFT information that shows the ultimate recipient of the transfer to be other than the Contractor, in the absence of a proper

assignment of claims acceptable to PHA, is incorrect EFT information within the meaning of paragraph (d) of this clause.

- h. Liability for change of EFT information by financial agent. PHA is not liable for errors resulting from changes to EFT information provided by the Contractor's financial agent.
- i. Payment information. The payment or disbursing office shall forward to the Contractor available payment information that is suitable for transmission as of the date of release of the EFT instruction to the Federal Reserve System. PHA may request the Contractor to designate a desired format and method(s) for delivery of payment information from a list of formats and methods the payment office is capable of executing. However, PHA does not guarantee that any particular format or method of delivery is available at any particular payment office and retains the latitude to use the format and delivery method most convenient to PHA. If PHA makes payment by check in accordance with paragraph (a) of this clause, PHA shall mail the payment information to the remittance address in the Contract.
- j. EFT information. The Contractor shall provide the following information to the designated office. The Contractor may supply this data for this or multiple contracts (see paragraph (b) of this clause). The Contractor shall designate a single financial agent per contract capable of receiving and processing the EFT information using the EFT methods described in paragraph (c) of this clause.
 - i. The contract number (or other procurement identification number).
 - ii. The Contractor's name and remittance address, as stated in the Contract(s).
 - iii. The signature (manual or electronic, as appropriate), title, and telephone number of the Contractor official authorized to provide this information.
 - iv. The name, address, and 9-digit Routing Transit Number of the Contractor's financial agent.
 - v. The Contractor's account number and the type of account (checking, saving, or lockbox).
 - vi. If applicable, the Fedwire Transfer System telegraphic abbreviation of the Contractor's financial agent.
 - vii. If applicable, the Contractor shall also provide the name, address, telegraphic abbreviation, and 9-digit Routing Transit Number of the correspondent financial institution receiving the wire transfer payment if the Contractor's financial agent is not directly on-line to the Fedwire Transfer System; and, therefore, not the receiver of the wire transfer payment.

4. Notices

- a. Any notice to or demand upon the Contractor shall be considered given if delivered at the office of the Contractor as stated on the signature page of the Contract or at such place or other address as he may designate, in writing, to the Authority.
- b. All papers required to be delivered to PHA, unless otherwise specified in writing to the Contractor, shall be sent to:
 - Attn: Kevin Denniston
 - Philadelphia Housing Authority
 - 12 South 23rd Street, 5th Floor
 - Philadelphia, PA 19104
- c. All Contractor notices, demands, requests, instructions, approvals, claims, etc., must be made in writing to PHA. No oral communications will be considered binding under the terms of this Contract.

5. Option to Extend Term of Contract

PHA may extend the term of this Contract through exercise of option year(s), if any, by written notice to the Contractor.

6. Option to Extend Services

PHA may require continued performance of any services within the limits and at the rates specified in the Contract. These rates may be adjusted only as a result of revisions to prevailing labor rates provided by the Secretary of Labor. This option provision may be exercised more than once, but the total extension of performance hereunder shall not exceed 6 months. The Contracting Officer may exercise the option by written notice to the Contractor within ten (10) days prior to the expiration of the Contract.

7. Contract Modifications

- a. Only the Contracting Officer has authority to modify any term or condition of this Contract. Any contract modification shall be authorized in writing.
- b. PHA may modify the Contract unilaterally (1) pursuant to a specific authorization stated in a Contract clause; or (2) for administrative matters which do not change the rights or responsibilities of the parties. All other Contract modifications shall be in the form of supplemental agreements signed by the Contractor and the Contracting Officer.

8. Hold Harmless

The Contractor shall hold PHA harmless from and indemnify PHA against any and all claims, demands and actions based upon or arising out of any activities performed by the Contractor and its employees and agents pursuant to the Contract and shall, at the request of PHA, defend any and all actions brought against PHA based upon any such claims or demands.

9. Suspension of Work

- a. The Contracting Officer may order the Contractor, in writing, to suspend, delay, or interrupt all or any part of the work of this Contract for the period of time that the Contracting Officer determines appropriate for the convenience of PHA.
- b. If the performance of all or any part of the work is, for an unreasonable period of time, suspended, delayed, or interrupted (1) by an act of the Contracting Officer in the administration of this Contract, or (2) by the Contracting Officer's failure to act within the time specified in this Contract (or within a reasonable time if not specified), an adjustment shall be made for any increase in the cost of performance of this Contract (excluding profit) necessarily caused by the unreasonable suspension, delay, or interruption, and the Contract modified in writing accordingly. However, no adjustment shall be made under this clause for any suspension, delay, or interruption to the extent that performance would have been so suspended, delayed, or interrupted by any other cause, including the fault or negligence of the Contractor, or for which an equitable adjustment is provided for or excluded under any other term or condition of this Contract.
- c. A claim under this clause shall not be allowed (1) for any costs incurred more than 20 days before the Contractor shall have notified the Contracting Officer in writing of the act or failure to act involved (but this requirement shall not apply as to a claim resulting from a suspension order), and (2) unless the claim, in an amount stated, is asserted in writing as soon as practicable after the termination of the suspension, delay, or interruption, but not later than the date of final payment under the Contract.

10. Default

If the Contractor refuses or fails to prosecute the work, or any separable part thereof, with the diligence that will insure its completion within the time specified in this Contract, or any extension thereof, or fails to complete said work within this time, the Contracting Officer may, by

written notice to the Contractor, terminate the right to proceed with the work (or separable part of the work) that has been delayed. In this event, PHA may take over the work and complete it, by contract or otherwise, and may take possession of and use any materials, equipment, and plant on the work site necessary for completing the work. The Contractor and its sureties shall be liable for any damage to PHA resulting from the Contractor's refusal or failure to complete the work within the specified time, whether or not the Contractor's right to proceed with the work is terminated. This liability includes any increased costs incurred by the PHA in completing the work.

11. Contractor Claims

In the event of a controversy or claim arising from the Contract, the Contractor must, within six months after the cause of action accrues, file a written claim with the Contracting Officer for a determination. The claim shall state all grounds upon which the Contractor asserts a controversy exists. If the Contractor fails to file a claim or files an untimely claim, the Contractor is deemed to have waived its right to assert a claim in any forum. The Contracting Officer shall review timely-filed claims and issue a determination in accordance with the "Disputes" clause in Terms and Conditions, Section I, Article 7.

12. Contractor Integrity

a. Definitions

- i. Confidential Information means information that is not public knowledge, or available to the public on request, disclosure of which would give an unfair, unethical, or illegal advantage to another desiring to contract with PHA.
 - ii. Consent means written permission signed by a duly authorized officer or employee of PHA, provided that where the material facts have been disclosed, in writing, by prequalification, bid, proposal, or contractual terms, PHA shall be deemed to have consented by virtue of execution of this agreement.
 - iii. Contractor means the individual or entity that has entered into this agreement with PHA, including directors, officers, partners, managers, key employees, and owners of more than a five percent interest.
 - iv. Financial Interest means: (1) ownership of more than a five percent interest in any business; or (2) holding a position as an officer, director, trustee, partner, employee, or the like, or holding any position of management.
 - v. Gratuity means any payment of more than nominal monetary value in the form of cash, travel, entertainment, gifts, meals, lodging, loans, subscriptions, advances, deposits of money, services, employment, or contracts of any kind.
- b. The Contractor shall maintain the highest standards of integrity in the performance of this agreement and shall take no action in violation of state or federal laws, regulations, or other requirements that govern contracting with PHA.
 - c. The Contractor shall not disclose to others any confidential information gained by virtue of this agreement.
 - d. The Contractor shall not, in connection with this or any other agreement with PHA, directly or indirectly, offer, confer, or agree to confer any pecuniary benefit on anyone as consideration for the decision, opinion, recommendation, vote, other exercise of discretion, or violation of a known legal duty by any officer or employee of PHA.
 - e. The Contractor shall not, in connection with this or any other agreement with PHA, directly or indirectly, offer, give, or agree or promise to give to anyone any gratuity for the benefit of or at the direction or request of any officer or employee of PHA.
 - f. Except with the consent of PHA, neither the Contractor nor anyone in privity with him or her shall accept or agree to accept from, or give or agree to give to, any person, any gratuity from any person in connection with the performance of work under this agreement except as provided therein.

- g. Except with the consent of PHA, the Contractor shall not have a financial interest in any other contractor, subcontractor, or supplier providing services, labor, or material on this project.
- h. The Contractor, upon being informed that any violation of these provisions has occurred or may occur, shall immediately notify PHA in writing.
- i. The Contractor, by execution of this agreement and by the submission of any bills or invoices for payment pursuant thereto, certifies and represents that he or she has not violated any of these provisions.
- j. The Contractor, upon the inquiry or request of PHA, HUD, the Inspector General of the Commonwealth or any agents or representatives of PHA, HUD or the Inspector General of the Commonwealth, shall provide, or if appropriate, make promptly available for inspection or copying, any information of any type or form deemed relevant by PHA, HUD or the Inspector General of the Commonwealth to the Contractor's integrity or responsibility, as those terms are defined by federal and state statutes, regulations, or management directives. Such information may include, but shall not be limited to, the Contractor's business or financial records, documents or files of any type or form which refer to or concern this agreement. Such information shall be retained by the Contractor for a period of three years beyond the termination of the Contract unless otherwise provided by law.
- k. For violation of any of the above provisions, PHA may terminate this and any other agreement with the Contractor, claim liquidated damages in an amount equal to the value of anything received in breach of these provisions, claim damages for all expenses incurred in obtaining another contractor to complete performance hereunder, and debar and suspend the Contractor from doing business with PHA. These rights and remedies are cumulative, and the use or nonuse of any one shall not preclude the use of all or any other. These rights and remedies are in addition to those PHA may have under law, statute, regulation, or otherwise.

13. Subcontracts

- a. There shall be no subcontracting without the prior written consent of the Contracting Officer.
- b. The PHA may, without claim for extra cost by the Contractor, disapprove any subcontractor for cause on the basis of its own determination or because the proposed subcontractor is suspended or debarred by the U.S. Government, the Commonwealth of Pennsylvania or PHA.
- c. The Contractor shall cause provisions to be inserted in all subcontracts to bind subcontractors to the terms of this Contract (including Affirmative Action provisions) insofar as they are applicable to the work of the subcontractor.
- d. Nothing contained in the Contract shall create any contractual relation between any subcontractor and PHA.

14. Subcontracting with Small and Minority Firms, and Women's Business Enterprise

The Contractor shall take the following steps to assure that, whenever possible, subcontracts are awarded to small and minority firms, and women's business enterprises by:

- a. Placing qualified small and minority businesses and women's business enterprises on solicitation lists;
- b. Assuring that small and minority businesses and women's business enterprises are solicited whenever possible;
- c. Dividing total requirements, when economically feasible, into smaller tasks or quantities to permit maximum participation by small and minority businesses and women's business enterprises;
- d. Establishing delivery schedules, where the requirements of the Contract permit, which encourage participation by small and minority businesses and women's business enterprises; and

- e. Using the services and assistance of the U.S. Small Business Administration, the Minority Business Development Agency of the U.S. Department of Commerce, and state and local governmental small business agencies.

15. Contractor Conflicts

The Contractor, its employees, agents and subcontractors shall not, during the term of this Contract, undertake any employment or engagement or, except as required by law, perform any act or allow any omission, which may result in a conflict with any of their respective obligations under this Contract. A conflict includes, but is not limited to engagement by a third party to review, comment or critique PHA work in the same or similar areas as reflected in this Contract's scope of work. In the event Contractor, its agents, or subcontractors are called upon under a purported requirement of law to do or omit anything that may be in violation of the foregoing, the Contractor shall give the PHA Contracting Officer sufficient advance written notice thereof to allow the matter to be contested by PHA.

16. Permits and Licenses

If any permits, licenses or other approvals are necessary for the performance of this Contract, then the Contractor shall obtain all such permits, licenses or approvals, including use of patents, trademarks or copyrights, at no extra charge to PHA.

17. Rights in Data and Copyrights

- a. Except as provided elsewhere in this clause, PHA shall have unlimited rights in data first produced in the performance of this Contract; form, fit, and function data delivered under this Contract; data delivered under this Contract (except for restricted computer software) that constitute manuals or instructional and training material for installation, operation, or routine maintenance and repair of items, components, or processes delivered or furnished for use under this Contract; and all other data delivered under this Contract unless provided otherwise for limited rights data or restricted computer software.
- b. The Contractor shall have the right to: use, release to others, reproduce, distribute, or publish any data first produced or specifically used by the Contractor in the performance of this Contract, unless provided otherwise in this clause; protect from unauthorized disclosure and use those data which are limited rights data of restricted computer software to the extent provided in this clause; substantiate use of, add or correct limited rights, restricted rights, or copyright notices and to take other appropriate action in accordance with this clause; and establish claim to copyright subsisting in data first produced in the performance of this Contract to the extent provided below.
- c. For data first produced in the performance of this Contract, the Contractor may establish, without prior approval of the Contracting Officer, claim to copyright subsisting in scientific or technical articles based on or containing data first produced in the performance of this Contract. The Contractor grants the PHA and others acting on its behalf a paid-up, non-exclusive, irrevocable, worldwide license in such copyrighted data to reproduce, prepare derivative works, distribute copies to the public, and perform or display publicly by or on behalf of the PHA.
- d. The Contractor shall not, without the prior written permission of the Contracting Officer, incorporate in data delivered under this Contract any data not first produced in the performance of this Contract and which contains copyright notice, unless the Contractor identifies such data and grants the PHA a license of the same scope as identified in the preceding paragraph.
- e. The PHA agrees not to remove any copyright notices placed on data and to include such notices in all reproductions of the data. If any data delivered under this Contract are improperly marked, the Contracting Officer may either return the data to the Contractor, or cancel or ignore the markings.

- f. The Contractor is responsible for obtaining from its subcontractors all data and rights necessary to fulfill the Contractor's obligations under this Contract.
- g. Notwithstanding any provisions to the contrary contained in any contractor's standard commercial license or lease agreement pertaining to any restricted computer software delivered under this Contract, and irrespective of whether any such agreement has been proposed prior to the award of this Contract or of the fact that such agreement may be affixed to or accompany the restricted computer software upon delivery, the Contractor agrees that the PHA shall have the rights set forth below to use, duplicate, or disclose any restricted computer software delivered under this Contract. The terms and conditions of this Contract, including any commercial lease of licensing agreement, shall be subject to the following procedures.
 - i. The restricted computer software delivered under this Contract may not be used, reproduced, or disclosed by PHA except as provided below or as expressly stated otherwise in this Contract.
 - ii. The restricted computer software may be: used or copied for use in or with the computer(s) for which it was acquired, including use at any PHA location to which such computer(s) may be transferred; used or copied for use in or with backup computer if any computer for which it was acquired is inoperative; reproduced for safekeeping (archives) or backup purposes; modified, adapted, or combined with other computer software, provided that the modified, combined, or adapted portions of the derivative software incorporating any of the delivered, restricted computer software shall be subject to the same restrictions set forth in this Contract; and used or copies for use in or transferred to a replacement computer.

18. Royalties and Patents

The Contractor shall pay all royalties and license fees. It shall defend all suits or claims for infringement of any patent rights and shall save PHA harmless from loss on account thereof; except that PHA shall be responsible for all such loss when a particular design, process or the product of a particular manufacturer or manufacturers is specified and the Contractor has no reason to believe that the specified design, process, or product is an infringement. If, however, the Contractor has reason to believe that any design, process or product specified by PHA is an infringement of a patent, the Contractor shall promptly notify the Contracting Officer. Failure to give such notice shall make the Contractor responsible for resultant loss.

19. Warranty & Product Documents

- a. The Contractor shall submit product data and manufacturer's specifications as required by PHA. Manufacturer's written product and procedures requirements, when approved by PHA, become part of the Contract. PHA reserves the right to reject items not in compliance with the manufacturer's specifications.
- b. The Contractor shall submit warranty and guaranty papers along with the manufacturer's data for each product. The adequacy of the documentation is subject to approval by PHA. The Contractor shall be a fully authorized and qualified seller, user or installer of the materials specified and/or approved. The Contractor shall submit proof of certification indicating he is acceptable to the manufacturer.
- c. On-Site Delivery
If PHA requires Contractor to deliver goods to a PHA site, then the Contractor's representative shall sign in at the PHA manager's office on-site prior to commencing delivery.

20. Insurance

- a. Before commencing work, the Contractor and each sub-contractor shall furnish the PHA with certificates of insurance showing the following insurance is in force and will insure all operations under the Contract:

- i. Workers' Compensation, in accordance with State or Territorial Workers' Compensation laws and Employers Liability with limits of not less than \$500,000.
 - ii. Commercial General Liability with a combined single limit for bodily injury and property damage of not less than \$1,000,000.00 per occurrence/\$2,000,000 General Aggregate. This shall cover the use of all equipment, hoists, and vehicles on the site(s) not covered by Automobile Liability under (3) below. If the Contractor has a "claims-made" policy based on Section (e) (5) of this clause, then the following additional requirements apply: the policy must provide a "retroactive date" which must be on or before the execution date of the Contract; and should the policy be canceled on non-renewed, the extended reporting coverage will be purchased to extend coverage to one year after the end of the contract period, limited only by the exhaustion of the policy limits. See PHA Special Terms and Conditions for higher levels of coverage for certain types of purchases.
 - iii. Automobile Liability coverage on owned, non-owned, and hired auto coverage for motor vehicles used on the site(s) or in connection therewith and with a combined single limit for bodily injury and property damage of not less than \$1,000,000.00 per occurrence.
- b. All insurance shall be carried with companies which are financially responsible and admitted to do business in the State in which the project is located and have an A.M. Best Rating of A . If any such insurance is due to expire during the Contract period, the Contractor (including subcontractors, as applicable) shall not permit the coverage to lapse and shall furnish evidence of coverage to the Contracting Officer. All certificates of insurance, as evidence of coverage, shall provide that no coverage may be canceled or non-renewed by the insurance company until at least thirty (30) days prior written notice has been given to the Contracting Officer. Such notice must be sent by Certified Mail, Return Receipt Requested, to the Contracting Officer's attention.
- c. Additional Insured Requirement: Philadelphia Housing Authority is to be named an "additional insured" on all policies required hereunder except Workers' Compensation, Employer's Liability, and Professional Liability. An endorsement stating the above shall be provided to the PHA by the Contractor prior to the commencement of the work. The General Liability additional insured endorsement shall be provided to PHA.
- d. Minimum Scope of Insurance: Coverage should be at least as broad as:
- i. Insurance Services Office form number CA 0001 (Ed. 03/06) covering Automobile Liability, Symbol "1" - "any auto".
 - ii. Workers' Compensation Insurance as required by the Pennsylvania Workers' Compensation Act, with \$500,000 limit of liability for Employers Liability Insurance.
- e. Other Insurance Provisions: The policies are to contain, or be endorsed to contain, the following provisions:
- i. General Liability and Automobile Liability coverages
 - 1) The PHA, its Board of Commissioners, officers, employees and volunteers are to be covered as additional insureds as respects: liability arising out of activities performed or should have been performed by or on behalf of the Contractor; products and completed operations of the Contractor; automobiles owned, leased, hired or borrowed by the Contractor. The coverage shall contain no special limitations on the scope of protection afforded to the PHA, its Board of Commissioners, officers, employees or volunteers.
 - 2) The Contractor's insurance coverage shall be primary insurance as respects the PHA, its Board of Commissioners, officers, employees and volunteers. Any insurance or self-insurance maintained by PHA, its Board of Commissioners, officers, employees, or volunteers shall be excess of the Contractor's insurance and shall not contribute with it.

- 3) Any failure to comply with reporting provisions of the policies shall not affect coverage provided to the PHA, its Board of Commissioners, officers, employees or volunteers.
- 4) The Contractor's insurance shall apply separately to each insured against whom claim is made or suit brought, except with respect to the limits of the insurer's liability.
- 5) In each instance, coverage should be provided on an "occurrence" basis, as opposed to a "claims-made" basis. Claims-made coverage will only be accepted in the event that it is verified that occurrence coverage is not available.

Also included in the Commercial General Liability coverage supplied by the Contractor will be Explosion Collapse and Underground Hazard Liability, if applicable.

- ii. **Workers' Compensation and Employer's Liability Coverage:** The Contractor agrees to obtain a waiver from the insurer waiving all rights of subrogation against the PHA, its Board of Commissioners, officers, employees and volunteers for losses arising from work performed by, for, or in behalf of the Contractor for the PHA.
 - iii. **All Coverages:** Each insurance policy required by this clause shall be endorsed to state that coverage shall not be suspended, voided, canceled by either party reduced in coverage or in limits except after thirty (30) days prior written notice by certified mail, return receipt requested, has been given to the PHA Risk Management Department.
 - iv. **Professional Liability Insurance:** If the entity responding to this Request for Proposal will provide architectural, engineering, consulting, construction management, counseling, medical, legal, or professional services, the Contractor shall maintain Professional Liability Insurance.. The minimum limit of liability will be \$1,000,000.00 per claim, \$2,000,000.00 annual aggregate on an occurrence basis. If suitable coverage cannot be obtained on an occurrence basis, then the Contractor may purchase suitable coverage on a claims-made basis with the retroactive date being on or before the execution date of the Contract. Should such insurance be cancelled, or not renewed, the Contractor agrees to purchase extended reporting coverage which extends the discovery period for at least five (5) years from the date of cancellation. The Contractor also agrees to continue the above coverage for a period of at least five (5) years from the date of completion of the Contract. This coverage shall not have a deductible maximum greater than \$10,000.00 per loss. This type of insurance is required for certain types of purchases as defined in PHA Special Terms and Conditions.
- f. **Deductibles and Self-Insured Retention:** Self-insured retentions must be declared to and approved by the PHA. At the option of the PHA, either: The insurer shall reduce or eliminate such deductibles or self-insured retentions as respects the PHA, its Board of Commissioners, officers, employees and volunteers. **Verification of Coverage:** Contractor shall furnish the PHA with certificates of insurance and with original endorsements affecting coverage required by this clause. The certificate shall include the Contract number and the Development name. These certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements are to be received and approved by the PHA before work commences. Upon renewal of coverages, Contractor must provide new insurance certificates meeting the insurance coverages as indicated above. The PHA reserves the right to require complete, certified copies of all required insurance policies, at any time.
- g. **Subcontractors:** Coverage provided under the applicable Contractor's policies will include coverage for those liabilities incurred through the actions, omissions and activities of all subcontractors. Contractor will cause any subcontractors to carry insurance coverage identical to that of the Contractor as regards perils insured against, scope of coverage, and limits of liability such as for Workers Compensation and Liability Insurance for asbestos and

other hazardous types of purchases. When applicable and upon request, certificates of subcontractor's insurance shall be provided to PHA.

- h. Binders: Binders are not acceptable as adequate insurance coverage.

21. Compliance with Law

The Contractor shall comply with all applicable federal and state laws and regulations and local ordinances in performing its obligations under the Contract.

22. Nondiscrimination/Sexual Harassment

- a. In the hiring of any employees for the manufacture of supplies, performance of work, or any other activity required under the Contract or any subcontract, the Contractor, subcontractor or any person acting on behalf of the Contractor or subcontractor shall not by reason of gender, race, creed, or color discriminate against any person who is qualified and available to perform the work to which the employment relates.
- b. Neither the Contractor nor any subcontractor nor any person on their behalf shall in any manner discriminate against or intimidate any employee involved in the manufacture of supplies, the performance of work or any other activity required under the Contract on account of gender, race, creed, or color.
- c. The Contractor and any subcontractors shall establish and maintain a written sexual harassment policy and shall inform their employees of the policy. The policy must contain a notice that sexual harassment will not be tolerated and employees who practice it will be disciplined.
- d. The Contractor shall not discriminate by reason of gender, race, creed, or color against any subcontractor or supplier who is qualified to perform the work to which the Contract relates.
- e. The Contractor and each subcontractor shall furnish all necessary employment documents and records to and permit access to its books, records, and accounts by the Contracting Officer for purposes of investigation to ascertain compliance with this clause.
- f. The Contractor shall include the provisions of this Nondiscrimination/Sexual Harassment clause in every subcontract so that such provisions will be binding upon each subcontractor.
- g. PHA may cancel or terminate the Contract, and all money due or to become due under the Contract may be forfeited for a violation of the terms and conditions of this clause. In addition, PHA may proceed with debarment or suspension of the Contractor.

23. Americans with Disabilities Act

Contractor shall comply with federal regulations promulgated under the authority of The Americans with Disabilities Act, 28 C. F. R. § 35.101 et seq. The Contractor understands and agrees that no individual with a disability shall, on the basis of the disability, be excluded from participation in this Contract or from activities provided for under this Contract. As a condition of accepting and executing this Contract, the Contractor agrees to comply with the "General Prohibitions Against Discrimination," 28 C. F. R. § 35.130, and all other regulations promulgated under Title II of The Americans With Disabilities Act which are applicable to the benefits, services, programs, and activities provided by PHA through contracts with outside contractors.

24. Commonwealth of Pennsylvania Steel Products Procurement Act

- a. This project is subject to the provisions of the Steel Products Procurement Act of 1978 (P.L. 6, No. 3) as amended by the Act of July 9, 1984 (P.L. 674, No. 144). All contractors, subcontractors, and material suppliers shall be required to comply with all provisions of this Act.
- b. The Contractor shall be required to provide with each Application-Certificate of Payment form an executed copy of the Certification of Compliance with the Steel Products Procurement Act form and additional documentation, including but not limited to, invoices, bills of lading, mill

certifications, or other acceptable evidence that the steel products represented on the payment application comply with one or more of the following categories:

- i. That the steel utilized on this project was melted and manufactured in the United States; and/or
 - ii. The product contains both foreign and United States steel, and at least seventy-five percent (75%) of the cost of all of the articles, materials, and supplies incorporated in the product have been mined, produced, or manufactured, as the case may be, in the United States; and/or
 - iii. The steel product is not produced in the United States in sufficient quantities to meet the requirements of the Contract, and prior written approval to use foreign steel has been obtained from The Pennsylvania State University.
- c. Any nonconforming steel products incorporated into the work shall be removed and replaced by the Contractor, at its own expense, with products meeting the requirements of the Act.
- d. Willful violation of this Act can result in penalties, including (but not necessarily limited to) prohibition from submitting any bids, or performing any work, or supplying any materials to a public agency for a period five (5) years from the date of the determination that a violation has occurred.

25. Applicable Law

The Contract shall be governed by and interpreted and enforced in accordance with the laws of the Commonwealth of Pennsylvania (without regard to any conflict of laws provisions) and the decisions of the Pennsylvania courts. The Contractor consents to the jurisdiction of any court of the Commonwealth of Pennsylvania and any federal courts in Pennsylvania, waiving any claim or defense that such forum is not convenient or proper. The Contractor agrees that any such court shall have in personam jurisdiction over it, and consents to service of process in any manner authorized by Pennsylvania law.

26. Provisions Required or Prohibited by Law

Each and every provision of law and clause required by law to be inserted in this Contract shall be deemed to be inserted herein, and this Contract shall be read and enforced as though such provisions were included herein. Any clause in this Contract prohibited by law shall be deemed to be deleted from this Contract, and this Contract shall be read and enforced as though such provision were not included herein.

27. Related Entities

PHA reserves the right to procure supplies or services on behalf of its affiliated entities and subsidiaries including but not limited to several limited partnerships ("Related Entities"). Each Related Entity shall have the right to procure such supplies or services directly from Contractor pursuant to this Contract. PHA will generally advise the Contractor that the contract or task/delivery order is being issued on behalf of a Related Entity and provide any special instructions. However, failure of PHA to do so does not negate the Contractor's obligation to provide the supply or service ordered.

28. Order of Precedence

Conflicts in the contract documents shall be resolved in accordance with the following order of precedence:

1. Addendum Number ____ dated _____, 20__.
2. Addendum Number ____ dated _____, 20__.
3. Services Contract;
4. HUD Standard Terms & Conditions
5. Statement of Work
6. PHA Special Terms & Conditions

7. PHA Standard Terms & Conditions
8. Solicitation Number _____, _____ dated _____, 20____, and entitled _____.
9. Contractor's proposal and Best and Final Offer (if requested) as accepted by the PHA.
10. Affirmative Action requirements
11. Instructions to Proposers
12. Representations, Certifications, and other statements to Proposers

29. Certifications and Representations

In the event that Contractor's certifications and representations set forth in Section I shall at any time cease to be true and correct in all material respects, Contractor shall promptly notify PHA of same, setting forth the particulars and identifying the steps, if any, being taken by Contractor to render such representation or certification to be true and correct in all material respects.

30. Taxes

- a. Contractor agrees to disclose to PHA all taxes paid pursuant to 72 Pennsylvania Statutes ("P.S.") § 7202 ("Sales Tax") paid by the Contractor in connection with the Contract, including in the Contractor's bid an itemization of Sales Tax expected to be paid in connection with this Contract.
- b. Contractor agrees to cooperate fully with PHA in determining which items Contractor purchases pursuant to this Contract are those on which Contractor will pay Sales Tax.
- c. Contractor will also cooperate fully with PHA in seeking guidance from the Pennsylvania Department of Revenue ("Department of Revenue") in determining which items are subject to Sales Tax.
- d. With respect to any item on which Contractor expects to pay Sales Tax, Contractor agrees to allow PHA the option of purchasing such item directly and to reduce the cost charged to PHA by the amount of Sales Tax Contractor would have paid had Contractor purchased such item.
- e. Contractor assigns to PHA all of its right, title and interest in and to any and all refund of Sales Tax Contractor will pay in connection with this Contract and agrees to cooperate fully with PHA in assisting PHA to obtain a refund of any and all Sales Tax Contractor paid in connection with this Contract, including but not limited to:
 - i. filing a petition for refund with the Department of Revenue at the request of PHA;
 - ii. providing PHA with any receipts or other documentation reasonably requested by PHA in connection with PHA pursuing such refund; and
 - iii. testifying at a hearing in connection with the pursuit of such refund.
- f. In the event PHA exercises its right under Section e to require Contractor to file a petition for refund of Sales Tax paid, PHA will, at its sole discretion:
 - i. determine the manner in which to pursue, and whether to continue pursuing, such refund; and
 - ii. select the representative to pursue such refund.

Further, PHA agrees to pay all fees and costs associated with pursuing such refund, but Contractor agrees that its payment under this Contract constitute full and complete consideration for any assistance Contractor may provide to PHA in pursuing such refund on PHA's behalf. Not later than five days after receipt thereof, Contractor agrees to pay to PHA any amount of Sales Tax refund received by Contractor in connection with a refund of Sales Tax paid in connection with this Contract.
- g. Contractor agrees to purchase, but not pay Sales Tax on, every item that qualifies as 'building machinery and equipment' (as defined in 72 P.S. § 7201(pp)) by providing Contractor's vendor with a properly completed exemption certificate (REV-1220) within sixty days of the purchase of each such item. Contractor further agrees that it shall include on line 7 of such exemption certificate the following statement: Property or services qualify as 'building machinery and

equipment' and will be transferred pursuant to a construction contract to a tax-exempt organization. Further, if any purchase of items by Contractor includes both Sales Tax exempt 'building machinery and equipment' and otherwise taxable property, Contractor agrees to maintain records sufficient to permit the Department of Revenue to ascertain whether the items purchased were in fact 'building machinery and equipment.'

- h. Contractor agrees to be solely responsible for any Sales Tax assessed on any item Contractor purchased pursuant to this Contract and further agrees to indemnify PHA for any Sales Tax PHA is subsequently assessed by the Department of Revenue with respect to any item Contractor purchased in connection with this Contract and on which Contractor did not pay Sales Tax.

31. Public Disclosure

After the award of a contract pursuant to this RFP, all proposal submissions are subject to disclosure in response to a request for public records made under the Pennsylvania Right-to-Know-Law, 65 P.S. § 67.101, et seq. If a proposal submission contains confidential proprietary information or trade secrets, a signed written statement to this effect must be provided with the submission in accordance with 65 P.S. § 67.707(b) for the information to be considered exempt under 65 P.S. § 67.708(b)(11) from public records requests.



**F. TERMS & CONDITIONS
SECTION III. PHA SPECIAL TERMS & CONDITIONS**

1. Term Of The Contract

The term of the Contract shall consist of a TBD base period with TBD option periods to extend services. This term includes the performance period of all task orders or purchases released under the contract. Contract options may be exercised early if Contract funding is utilized before the Contract performance period expires; provided that PHA shall be under no obligation to do so, and the Contract rates will not increase until the annual period for which they were proposed has elapsed.

2. Cost Proposals

Offerors [X] are [] are not required to propose prices for all line items in the Schedule.

The following selected clauses are applicable to the Contract:

3. [] Proposal Security

- a. Failure to furnish proposal security in the proper form and amount, by the time set for opening of bids, may be cause for rejection of the proposal.
- b. The Offeror shall furnish a proposal guarantee in the form of a firm commitment, e.g., proposal bond supported by good and sufficient surety or sureties acceptable to PHA, postal money order, certified check, cashier's check, irrevocable letter of credit, or, under Treasury Department regulations, certain bonds or notes of the United States. PHA will return proposal guarantees, other than proposal bonds, (1) to unsuccessful Offerors as soon as practicable after the opening of proposals, and (2) to the successful Offeror upon execution of contractual documents and bonds (including any necessary coinsurance or reinsurance agreements), as required by the proposal as accepted.
- c. The amount of the proposal guarantee shall be 5 percent of the proposal price.
- d. If the successful Offeror, upon acceptance of its proposal by PHA within the period specified for acceptance, fails to execute all contractual documents or furnish executed bond(s) within 10 days after receipt of the forms by the Offeror, the Contracting Officer may terminate the Contract for default.
- e. In the event the Contract is terminated for default, the Offeror is liable for any cost of acquiring the work that exceeds the amount of its proposal, and the proposal guarantee is available to offset the difference.

4. Multiple Awards

PHA reserves the right to make multiple awards under this solicitation. Although the scope of services will remain the same for each contract, the dollar amount of each contract may vary.

5. Fixed Fee

- a. If a cost plus fixed fee type of contract is used, PHA shall pay the Contractor for performing this Contract the fixed fee specified in the Schedule.
- b. Payment of the fixed fee shall be made as specified in the Schedule; provided that after payment of 85 percent of the fixed fee, the Contracting Officer may withhold further payment of fee until a reserve is set aside in an amount that the Contracting Officer considers necessary to protect PHA's interest. This reserve shall not exceed 15 percent of the total fixed fee or \$100,000, whichever is less.

6. Indefinite Quantity (Special Services)

- a. This is an indefinite-quantity contract with FIRM FIXED UNIT PRICING for the supplies or services specified, and effective for the period stated, in the Schedule. The quantities of supplies and services specified in the Schedule are estimates only and are not purchased by this Contract.
- b. Delivery or performance shall be made only as authorized by orders issued in accordance with the Ordering clause. The Contractor shall furnish to PHA, when and if ordered, the supplies or services specified in the Schedule up to and including the quantity designated in the Schedule as the "maximum." PHA shall order at least the quantity of supplies or services designated in the Schedule as the "minimum."
- c. Except for any limitations on quantities in the Order Limitations clause or in the Schedule, there is no limit on the number of orders that may be issued. PHA may issue orders requiring delivery to multiple destinations or performance at multiple locations.
- d. Any order issued during the effective period of this Contract and not completed within that period shall be completed by the Contractor within the time specified in the order. The Contract shall govern the Contractor's and PHA's rights and obligations with respect to that order to the same extent as if the order were completed during the Contract's effective period.

7. Definite Quantity

- a. This is a definite-quantity, indefinite-delivery contract with FIRM FIXED UNIT PRICING for the supplies or services specified, and effective for the period stated, in the Schedule.
- b. PHA shall order the quantity of supplies or services specified in the Schedule, and the Contractor shall furnish them when ordered. Delivery or performance shall be at locations designated in orders issued in accordance with the Ordering clause and the Schedule.
- c. Except for any limitations on quantities in the Order Limitations clause or in the Schedule, there is no limit on the number of orders that may be issued. PHA may issue orders requiring delivery to multiple destinations or performance at multiple locations.
- d. Any order issued during the effective period of this Contract and not completed within that time shall be completed by the Contractor within the time specified in the order. The Contract shall govern the Contractor's and PHA's rights and obligations with respect to that order to the same extent as if the order were completed during the Contract's effective period.

8. Requirements

- a. This is a requirements contract for the supplies or services specified, and effective for the period stated, in the Schedule. The quantities of supplies or services specified in the Schedule are estimates only and are not purchased by this Contract. Except as this Contract may

otherwise provide, if PHA's requirements do not result in orders in the quantities described as "estimated" or "maximum" in the Schedule, that fact shall not constitute the basis for an equitable price adjustment.

- b. Delivery or performance shall be made only as authorized by orders issued in accordance with the Ordering clause. Subject to any limitations in the Order Limitations clause or elsewhere in this Contract, the Contractor shall furnish to PHA all supplies or services specified in the Schedule and called for by orders issued in accordance with the Ordering clause. PHA may issue orders requiring delivery to multiple destinations or performance at multiple locations.
- c. Except as this Contract otherwise provides, PHA shall order from the Contractor all the supplies or services specified in the Schedule that are required to be purchased by PHA activity or activities specified in the Schedule.
- d. PHA is not required to purchase from the Contractor requirements in excess of any limit on total orders under this Contract.
- e. If PHA urgently requires delivery of any quantity of an item before the earliest date that delivery may be specified under this Contract, and if the Contractor will not accept an order providing for the accelerated delivery, PHA may acquire the urgently required goods or services from another source.
- f. Any order issued during the effective period of this Contract and not completed within that period shall be completed by the Contractor within the time specified in the order. The Contract shall govern the Contractor's and PHA's rights and obligations with respect to that order to the same extent as if the order were completed during the Contract's effective period.

9. [] Ordering

- a. Any supplies and services to be furnished under this Contract shall be ordered by issuance of delivery orders or task orders by the individuals or activities designated in the Schedule during the term of the Contract. Such orders may be issued from the date of award through the remaining time and or available funds, in accordance with this Contract. The ordering activity for this Contract/task order is PHA's Procurement and or Contract Administration department.
- b. All delivery orders or task orders are subject to the terms and conditions of this Contract. In the event of conflict between a delivery order or task order and this Contract, the Contract shall control.
- c. If mailed, a delivery order or task order is considered "issued" when PHA deposits the order in the mail. Orders may be issued orally, by facsimile, or by electronic methods.
- d. Contractor must resolve any discrepancies appearing on PHA's task/delivery order prior to delivery. Contractor must resolve issues regarding quantities, services, descriptions, items, etc. Failure to comply and resolve discrepancies shall remain the Contractor's sole responsibility.

10. [] Order Limitations

- a. **Minimum order.** When PHA requires supplies or services covered by this Contract in an amount of less than _____ [insert dollar figure or quantity], the PHA is not obligated to purchase, nor is the Contractor obligated to furnish, those supplies or services under the Contract.
- b. **Maximum order.** The Contractor is not obligated to honor-
 - i. Any order for a single item in excess of 10% of the total Contract value for the Contract period;
 - ii. Any order for a combination of items in excess of 100% of the total Contract value for the Contract period; or
 - iii. A series of orders from the same ordering office within seven (7) days that together call for quantities exceeding the limitation in paragraph (b)(1) or (2) of this section.

- c. Notwithstanding paragraphs (b) of this section, the Contractor shall honor any order exceeding the maximum order limitations in paragraph (b), unless that order (or orders) is returned to the ordering office within five (5) days after issuance, with written notice stating the Contractor's intent not to ship the item (or items) called for and the reasons.

11. Prequalification

- a. Contract award may only be made to pre-qualified offerors. Although not a condition to submitting an offer, it is strongly advised that a pre-qualification application be obtained, completed, and returned to PHA's Pre-Qualification Division prior to the submission of a proposal. Applications may be obtained from the Pre-Qualification Division, 3100 Penrose Ferry Road, Philadelphia, PA 19145; Tel: 215-684-8562.
- b. Failure to complete the application within the required time limits may cause the offeror to be deemed non-responsive and ineligible for contract award. The following time limit applies to this solicitation:
 - Offerors will be given ten (10) working days after notification by the Pre-Qualification Division to supply the information necessary to complete the Pre-Qualification application.
 - Offerors will be given two (2) working days after notification by the Pre-Qualification Division to supply the information necessary to complete the Pre-Qualification application.

12. Liquidated Damages

- a. If the Contractor fails to complete the work within the time specified in the Contract, or any extension, the contractor shall pay to the PHA as liquidated damages, the sum of \$_____ for each day of delay. To the extent that the Contractor's delay or nonperformance is excused under another clause of this Contract, liquidated damages shall not be due to PHA. The Contractor remains liable for damages caused other than by delay.
- b. If the PHA terminates the Contractor's right to proceed, the resulting damage will consist of liquidated damages until such reasonable time as may be required for final completion of the work together with any increased costs incurred by PHA to complete the work.

13. Warranty

The equipment provided under this Contract shall have a warranty of _____ (years/months) from the date of final acceptance of all deliveries or work under this Contract.

14. Insurance

The following types of insurance is required in addition to the workers compensation and auto liability insurance included in Section 20 of PHA Standard Terms and Conditions.

SUPPLEMENTAL INSURANCE REQUIREMENTS

(check marks indicate required coverage)

Type of Work	General Liability \$2M/occurrence \$2M aggregate	Professional Liability \$1M/claim \$2M aggregate	Liability Pollution \$2M/loss \$2M aggregate
Architectural and Engineering Services			
Consulting			
Construction Management			
Contractor - Single Trade			
Boiler Maintenance			
Elevator Maintenance			
Asbestos Removal			
Janitorial Services			
Sprinkler & Fire Alarm Systems			
Insurance			
Landscaping and Snow Removal	<input checked="" type="checkbox"/>		
Legal Services			
Security Services			

G. EVALUATION CRITERIA

All proposals received by the specified date shall be subject to evaluation by a review committee. The following criteria will be used to rank offerors. PHA reserves the right to hold discussions with and request Best and Final Offers from the highest rated offerors determined by PHA to be within the competitive range. Award will be made to the offeror whose price and technical factors are most advantageous to PHA.

<u>NO.</u>	<u>ITEM DESCRIPTION</u>	<u>POINTS</u>
1.	Demonstrated understanding of the requirements	20
2.	Technical capabilities (in terms of personnel, Equipment, and materials) and management plan (including staffing of key positions, method of assigning work, and procedures for maintaining level of service, etc.)	20
3.	Demonstrated successful past performance of contract work substantially similar to that required by the solicitation as verified by reference checks or other means	20
4.	Equipment List	20
5.	Demonstrated MBE/WBE and Section 3 participation.	20
		<hr/> 100

H. PROPOSAL FORM

I, we _____ agree to perform the services requested in accordance with the attached Statement of Work for the following:

Snow Removal Services as per Scope of Work
All-Inclusive Firm Fixed-Fee Pricing per Occurrence

BASE PERIOD (YEAR 1)

<u>Location</u>	<u>Snow / Ice Occurrence</u>	<u>COST for Snow Removal / Salting</u>	<u>COST for Salting/Ice Melt ONLY</u>
Germantown House	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Suffolk Manor	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Mount Olivet	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
GGFE I, II and Maintenance Yard	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Cambridge Homes I, II, III	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____

	Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____	\$ _____ \$ _____
Ludlow Phase III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Norris Apartments	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Richard Allen Homes III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Lucien Blackwell I, II, III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Marshall Shepard IV	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Warnock I	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____

Paschall Village I, II	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____

BASE PERIOD (YEAR 2)

<u>Location</u>	<u>Snow / Ice Occurrence</u>	<u>COST for Snow Removal / Salting</u>	<u>COST for Salting/Ice Melt ONLY</u>
Germantown House	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Suffolk Manor	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Mount Olivet	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
GGFE I, II and Maintenance Yard	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Cambridge Homes I, II, III	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____

	Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____
Ludlow Phase III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Norris Apartments	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Richard Allen Homes III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Lucien Blackwell I, II, III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Marshall Shepard IV	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Warnock I	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____

Paschall Village I, II	Occurrences 1/2" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____

OPTION PERIOD 1 (YEAR 3)

<u>Location</u>	<u>Snow / Ice Occurrence</u>	<u>COST for Snow Removal / Salting</u>	<u>COST for Salting/Ice Melt ONLY</u>
Germantown House	Occurrences 1/2" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Suffolk Manor	Occurrences 1/2" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Mount Olivet	Occurrences 1/2" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
GGFE I, II and Maintenance Yard	Occurrences 1/2" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Cambridge Homes I, II, III	Occurrences 1/2" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____

	Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____
Ludlow Phase III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Norris Apartments	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Richard Allen Homes III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Lucien Blackwell I, II, III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Marshall Shepard IV	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Warnock I	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____

Paschall Village I, II	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____

OPTION PERIOD 2 (YEAR 4)

<u>Location</u>	<u>Snow / Ice Occurrence</u>	<u>COST for Snow Removal / Salting</u>	<u>COST for Salting/Ice Melt ONLY</u>
Germantown House	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Suffolk Manor	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Mount Olivet	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
GGFE I, II and Maintenance Yard	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Cambridge Homes I, II, III	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____

	Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____
Ludlow Phase III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Norris Apartments	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Richard Allen Homes III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Lucien Blackwell I, II, III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Marshall Shepard IV	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Warnock I	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____

Paschall Village I, II	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____

OPTION PERIOD 3 (YEAR 5)

<u>Location</u>	<u>Snow / Ice Occurrence</u>	<u>COST for Snow Removal / Salting</u>	<u>COST for Salting/Ice Melt ONLY</u>
Germantown House	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Suffolk Manor	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Mount Olivet	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
GGFE I, II and Maintenance Yard	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____
Cambridge Homes I, II, III	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____

	Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____	\$ _____ \$ _____
Ludlow Phase III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Norris Apartments	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Richard Allen Homes III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Lucien Blackwell I, II, III	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Marshall Shepard IV	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____
Warnock I	Occurrences ½" – 3" Occurrences 3" – 6" Occurrences 6" – 9" Occurrences 9" – 12" Occurrences 12" – 15"	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____	\$ _____ \$ _____ \$ _____ \$ _____ \$ _____

Paschall Village I, II	Occurrences ½" – 3"	\$ _____	\$ _____
	Occurrences 3" – 6"	\$ _____	\$ _____
	Occurrences 6" – 9"	\$ _____	\$ _____
	Occurrences 9" – 12"	\$ _____	\$ _____
	Occurrences 12" – 15"	\$ _____	\$ _____

Rates quoted should include all costs associated with the administration of this contract, to include, but not limited to, all labor, materials, supervision, equipment, transportation, ETC.

References

Please provide the name, address and telephone number of three references for whom the offeror performed work substantially similar to that required by the solicitation. Performance surveys (included in package) must be completed and accompany bids responses in separately sealed envelopes.

1.

2.

3.

List all items, other than the required proposal form and certifications, included as part of the offeror's proposal:

Acknowledgement of Amendments

The offeror hereby acknowledges the receipt of and obligation to perform pursuant to the following addenda to this RFP:

Addendum No.	_____	dated	_____
Addendum No.	_____	dated	_____
Addendum No.	_____	dated	_____

Binding Contract

The offeror acknowledges and agrees that no contract shall exist until signed by both parties, except that Section F.3 (Proposal Security) shall be binding on the offeror in accordance with its terms prior to the execution of a contract. In addition, until an agreement is signed by both parties, PHA may rescind any recommendation of award and the offeror will be deemed to have waived any and all rights to obtain a contract with PHA or seek damages against PHA.

Name of Offeror: _____
Federal Tax Identification Number _____ (if applicable)
State of incorporation _____ (if applicable)
Philadelphia Business A/C Number _____ (if applicable)
Social Security Number _____ (if offeror is an individual)
Official Address: _____

Signature: _____
Print Name and Title: _____
Date: _____

Witness: _____

PLACE CORPORATE SEAL HERE

IF A CORPORATION

I. CERTIFICATIONS AND REPRESENTATIONS OF OFFERORS

1. Offeror's Certification Of Eligibility

- (a) By the submission of this proposal, the offeror certifies that to the best of its knowledge and belief:
- (i) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, is ineligible to be awarded contracts by any agency of the United States Government, HUD, or the State in which this Contract is to be performed;
 - (ii) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, is ineligible to participate in HUD programs pursuant to 24 CFR Part 24;
 - (iii) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, has been suspended, debarred or otherwise restricted by any Department or Agency of the Federal Government or of any State Government or of the City of Philadelphia or the Philadelphia Housing Authority from doing business with such Department or Agency for the period beginning 5 years prior to the date of this certification;
 - (iv) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, has experienced default or noncompliance under any contract for the U.S. Department of Housing and Urban Development, or any other governmental agency with which it has contracts for the period beginning 10 years prior to the date of this certification;
 - (v) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, has unresolved findings raised as a result of HUD audits, management reviews or any other Governmental investigations concerning the offeror or any person or firm which has an interest in the offeror's firm under any of the offeror's contracts;
 - (vi) There has not been a suspension or termination of payments under any HUD contract in which the offeror has a legal or beneficial interest attributable to the offeror's fault or negligence;
 - (vii) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, has defaulted on an obligation covered by a bond and have not been the subject of a claim under any fidelity bond.

- (viii) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, has been found by HUD or the Commonwealth of Pennsylvania to be in noncompliance with any applicable civil rights laws.
 - (ix) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, is a Member of Congress or a Resident Commissioner or otherwise prohibited or limited by law from contracting with the Philadelphia Housing Authority.
 - (x) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm is an officer or employee or commissioner of the Philadelphia Housing Authority who is prohibited or limited by law from contracting with the PHA.
 - (xi) Neither the offeror, nor any person or firm which has an interest in the proposal or the offeror's firm, has been convicted of a felony and are not presently the subject of a complaint or indictment charging a felony. (A felony is any offense punishable by imprisonment for more than one year, but does not include any offense classified as a misdemeanor under the laws of a State and punishable by imprisonment of two years or less.)
- (b) Statements above to which the offeror cannot certify (if any) have been deleted by striking through the words with a pen. The offeror has initialed each deletion (if any) and has attached a true and accurate signed statement (if applicable) to explain the facts and circumstances which qualify the offeror as a responsible offeror for participation in this project.
- (c) The certification in paragraph (a) above is a material representation of fact upon which reliance was placed when making the award. If it is later determined that the offeror knowingly rendered an erroneous certification, the Contract may be terminated for default, and the offeror may be debarred or suspended from participation in HUD and PHA programs and other Federal contract programs.

2. Small, Minority, Women-Owned Business Concern Representation

The offeror represents and certifies as part of its offer that it:

- (a) [] is, [] is not a small business concern. "Small business concern," as used in this provision, means a concern, including its affiliates, that is independently owned and operated, not dominant in the field of operation in which it is bidding, and qualified as a small business under the criteria and size standards in 13 CFR 121.

- (b) is, is not a women-owned small business concern. "Women-owned," as used in this provision, means a small business that is at least 51 percent owned by a woman or women who are U.S. citizens and who also control and operate the business.

Certifying Agency & Certification Number (if applicable):

- (c) is, is not a minority enterprise which, pursuant to Executive Order 11625, is defined as a business which is at least 51 percent owned by one or more minority group members or, in the case of a publicly owned business, at least 51 percent of its voting stock is owned by one or more minority group members, and whose management and daily operations are controlled by one or more such individuals.

- (i) For the purpose of this definition, minority group members are:
(check the block applicable to you)

- Black Americans Asian Pacific Americans
 Hispanic Americans Asian Indian Americans
 Native Americans Hasidic Jewish Americans

- (ii) Certifying Agency & Certification Number (if applicable):
-

3. Conflict of Interest

In the absence of any actual or apparent conflict, the offeror, by submission of a proposal, hereby warrants that to the best of its knowledge and belief, no actual or apparent conflict of interest exists with regard to the possible performance of this procurement, as described in the clause in this solicitation titled "Organizational Conflict of Interest."

4. Contingent Fee Representation and Agreement

- (a) The offeror represents and certifies as part of its offer that, except for full-time bona fide employees working solely for the offeror, the offeror:
- (i) has, has not employed or retained any person or company to solicit or obtain this Contract; and
- (ii) has, has not paid or agreed to pay to any person or company employed or retained to solicit or obtain this Contract any commission, percentage, brokerage, or other fee contingent upon or resulting from the award of this Contract.

- (b) If the answer to either (a)(1) or (a) (2) above is affirmative, the offeror shall make an immediate and full written disclosure to the PHA Contracting Officer.
- (c) Any misrepresentation by the offeror shall give the PHA the right to (1) terminate the resultant contract; (2) at its discretion, to deduct from Contract payments the amount of any commission, percentage, brokerage, or other contingent fee; or (3) take other remedy pursuant to the Contract.

5. Certificate of Independent Price Determination

- (a) The offeror certifies that –
 - (i) The prices in this offer have been arrived at independently, without, for the purpose of restricting competition, any consultation, communication, or agreement with any other offeror or competitor relating to (i) those prices, (ii) the intention to submit a offer, or (iii) the methods or factors used to calculate the prices offered;
 - (ii) The prices in this offer have not been and will not be knowingly disclosed by the offeror, directly or indirectly, to any other offeror or competitor before bid opening (in the case of a sealed bid solicitation) or contract award (in the case of a negotiated solicitation) unless otherwise required by law; and
 - (iii) No attempt has been made or will be made by the offeror to induce any other concern to submit or not to submit an offer for the purpose of restricting competition.
- (b) Each signature on the offer is considered to be a certification by the signatory that the signatory:
 - (i) Is the person in the offeror’s organization responsible for determining the prices being offered in this bid or proposal, and that the signatory has not participated and will not participate in any action contrary to subparagraphs (a)(i) through (a)(iii) above; or
 - (ii)
 - (1) Has been authorized, in writing, to act as agent for the following principals in certifying that those principals have not participated, and will not participate in any action contrary to subparagraphs (a)(i) through (a)(iii) above (insert full name of person(s) in the offeror’s organization responsible for determining the prices offered in this bid or proposal, and the title of his or her position in the offeror’s organization):

- (2) As an authorized agent, does certify that the principals named in subdivision (b)(2)(i) above have not participated, and will not participate, in any action contrary to subparagraphs (a)(i) through (a)(iii) above; and
 - (3) As an agent, has not personally participated, and will not participate in any action contrary to subparagraphs (a)(i) through (a)(iii) above.
- (c) If the offeror deletes or modifies subparagraph (a)2 above, the bidder/offeror must furnish with its offer a signed statement setting forth in detail the circumstances of the disclosure.
- (d) The offeror further certifies that he/she has not been convicted or found liable for any act prohibited by state or federal law involving conspiracy or collusion with respect to proposing or bidding on any public contract within the last three years. Such act or conviction does not automatically disqualify an offeror, but may be grounds for administrative suspension or grounds for consideration by PHA as to whether PHA should decline to award a contract to such an offeror on the basis of a lack of responsibility. If offeror has been convicted of any act prohibited by State or Federal law involving collusion with respect to proposing or bidding on any public contract within the past three years, offeror should attach an explanation of the circumstances surrounding that conviction.
- (e) [check if following paragraph is applicable]

Non-collusive affidavit. (applicable to contracts for construction and equipment exceeding \$50,000)

- (i) Each bidder shall execute, in the form provided by the PHA/IHA, an affidavit to the effect that he/she has not colluded with any other person, firm or corporation in regard to any bid submitted in response to this solicitation. If the successful bidder did not submit the affidavit with his/her bid, he/she must submit it within three (3) working days of bid opening. Failure to submit the affidavit by that date may render the bid nonresponsive. No contract award will be made without a properly executed affidavit.

- (ii) A fully executed "Non-collusive Affidavit" [] is, [] is not included with the bid. (See page I-12 for Affidavit form).

6. Certification And Disclosure Regarding Payments To Influence Certain Federal Transactions (applicable to contracts exceeding \$100,000)

- (a) The definitions and prohibitions contained in Section 1352 of title 31, United States Code, are hereby incorporated by reference in paragraph (b) of this certification.
- (b) The offeror, by signing its proposal, hereby certifies to the best of his or her knowledge and belief as of _____, 20__, that:
 - (i) No Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress on his or her behalf in connection with the awarding of a contract resulting from this solicitation;
 - (ii) If any funds other than Federal appropriated funds (including profit or fee received under a covered Federal transaction) have been paid, or will be paid, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress on his or her behalf in connection with this solicitation, the proposer shall complete and submit, with its proposal, OMB standard form LLL, "Disclosure of Lobbying Activities;" and
 - (iii) He or she will include the language of this certification in all subcontracts at any tier and require that all recipients of subcontract awards in excess of \$100,000 shall certify and disclose accordingly.
 - (iv) Submission of this certification and disclosure is a prerequisite for making or entering into this Contract imposed by section 1352, title 31, United States Code. Any person who makes an expenditure prohibited under this provision or who fails to file or amend the disclosure form to be filed or amended by this provision, shall be subject to a civil penalty of not less than \$10,000, and not more than \$100,000, for each such failure.

7. Certification Of Non-segregated Facilities (applicable to contracts exceeding \$10,000)

- (a) The offeror's attention is called to the clause entitled "Equal Employment Opportunity" of Section I of the Terms and Conditions of the Contract.

- (b) "Segregated facilities," as used in this provision, means any waiting rooms, work areas, rest rooms and wash rooms, restaurants and other eating areas, time clocks, locker rooms and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation, and housing facilities provided for employees, that are segregated by explicit directive or are in fact segregated on the basis of race, color, religion, or national origin because of habit, local custom, or otherwise.
- (c) By the submission of this proposal, the offeror certifies that it does not and will not maintain or provide for its employees any segregated facilities at any of its establishments, and that it does not and will not permit its employees to perform their services at any location under its control where segregated facilities are maintained. The offeror agrees that a breach of this certification is a violation of the Equal Employment Opportunity clause in the Contract.
- (d) The offeror further agrees that (except where it has obtained identical certifications from proposed subcontractors for specific time periods) prior to entering into subcontracts which exceed \$10,000 and are not exempt from the requirements of the Equal Employment Opportunity clause, it will:
 - (i) Obtain identical certifications from the proposed subcontractors;
 - (ii) Retain the certifications in its files; and
 - (iii) Forward the following notice to the proposed subcontractors (except if the proposed subcontractors have submitted identical certifications for specific time periods):

**NOTICE TO PROSPECTIVE SUBCONTRACTORS OF
REQUIREMENT FOR CERTIFICATIONS OF NONSEGREGATED
FACILITIES.**

A Certification of Non-segregated Facilities must be submitted before the award of a subcontract exceeding \$10,000 which is not exempt from the provisions of the Equal Employment Opportunity clause of the prime contract. The certification may be submitted either for each subcontract or for all subcontracts during a period (i.e., quarterly, semiannually, or annually).

NOTE: The penalty for making false statements in bids is prescribed in 18 U.S.C. 1001.

8. Clean Air And Water Certification (applicable to contracts exceeding \$100,000)

The offeror certifies that (check the block applicable):

- (a) Any facility to be used in the performance of this Contract [] is [] is not listed on the Environmental Protection Agency List of Violating Facilities;
- (b) The offeror will immediately notify the PHA Contracting Officer, before award, of the receipt of any communication from the Administrator, or a designee, of the Environmental Protection Agency, indicating that any facility that the offeror proposes to use for the performance of the Contract is under consideration to be listed on the EPA List of Violating Facilities; and,
- (c) The offeror will include a certification substantially the same as this certification, including this paragraph (c), in every nonexempt subcontract.

9. Drug-Free Workplace Certification

By submission of its offer, the offeror, if other than an individual, who is making an offer that equals or exceeds \$10,000, certifies and agrees, that with respect to all employees of the offeror to be employed under a contract resulting from this solicitation, other than a contract for the procurement of commercial items, it will - no later than 30 calendar days after contract award (unless a longer period is agreed to in writing), for contracts of 30 calendar days or more performance duration; or as soon as possible for contracts of less than 30 calendar days performance duration, but in any case, by a date prior to when performance is expected to be completed -

- (a) Publish a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession or use of a controlled substance is prohibited in the Contractor's workplace and specifying the actions that will be taken against employees for violations of such prohibition;
- (b) Establish an ongoing drug-free awareness program to inform such employees about:
 - (i) The dangers of drug abuse in the workplace;
 - (ii) The Contractor's policy of maintaining a drug-free workplace;
 - (iii) Any available drug counseling, rehabilitation, and employee assistance programs; and
 - (iv) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
- (c) Provide all employees engaged in the performance of the Contract with a copy of the statement required by subparagraph (a) of this provision;
- (d) Notify such employees in writing in the statement required by subparagraph (a) of this provision that, as a condition of continued employment on the Contract resulting from this solicitation, the employee will:

- (i) Abide by the terms of the statement; and
- (ii) Notify the employer in writing of the employee's conviction under a criminal drug statute for a violation occurring in the workplace no later than five (5) calendar days after such conviction;
- (iii) Notify the Contracting Officer in writing within ten (10) calendar days after receiving notice under Subdivision (d)(2) of this provision, from an employee or otherwise receiving actual notice of such conviction. The notice shall include the position title of the employee; and
- (iv) Within thirty (30) calendar days after receiving notice under subdivision (d)(2) of this provision of a conviction, take one of the following actions with respect to any employee who is convicted of a drug abuse violation occurring in the workplace:
 - (1) Take appropriate personnel action against such employee, up to and including termination; or
 - (2) Require such employee to satisfactorily participate in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State or local health, law enforcement, or other appropriate agency.
- (e) Make a good faith effort to maintain a drug-free workplace through implementation of subparagraphs (a) through (d) of this provision.
- (f) By submission of its offer, the offeror, if an individual who is making an offer of any dollar value, certifies and agrees that the offeror will not engage in the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in the performance of the contract resulting from this solicitation.
- (g) In addition to other remedies available to the PHA, the certifications required by this provision concern a matter within the jurisdiction of an agency of the United States and the making of a false, fictitious, or fraudulent certification may render the maker subject to prosecution under title 18, United States Code, section 1001.

10. PHA Fraud Policy

The offeror certifies that he/she has read the following PHA Fraud Policy, will adhere to it, and is aware of the penalties for failure to comply:

- (a) For purposes of this policy, and in concurrence with the PHA Office of Inspector General's (OIG) mandate, "fraud" includes: fraudulent activity by any person employed by or contracting with the PHA; bribery and official

corruption; theft of PHA funds, property or benefits; and serious breaches of integrity. Some examples of activities covered include: extortion/extortion attempts by PHA employees or officials; acceptance or solicitation of bribes; submission of fraudulent documents; employee collusion with contractors or vendors; material misstatements of facts in contracts or documents, relating to services performed or materials provided; bid rigging; and disclosure of confidential information.

(b) Covered Parties

- (i) All PHA employees and officials.
- (ii) All contractors, subcontractors, vendors and consultants doing business with the PHA -

NOTE: Contractors are responsible for compliance with this Fraud Policy by their subcontractors.

- (iii) All owners of housing who receive subsidies from PHA.
- (iv) Any other individual or entity doing business with or seeking to do business with the PHA.

(c) Responsibilities

- (i) All “covered” parties” must report any type of fraud when they become aware of such activity, and they must cooperate fully with the OIG in any ensuing investigation.
- (ii) “Fraud” must be reported to a representative of the PHA’s OIG, 1101 Market Street, Suite 1320, Philadelphia, PA 19107, (215) 684-8300.
- (iii) Management officials will support the Fraud Policy and ensure compliance with this policy by persons they supervise, and/or individuals and business entities that they deal with.

(d) Penalties For Failure To Report Fraud

Penalties for failure to timely report fraud can include: loss of contract and/or debarment from future contracts by contractors, subcontractors, vendors, and any other individual or entity doing business with the PHA; and other action deemed appropriate by PHA officials.

(e) Confidentiality

All information reported to the OIG is confidential, and the identity of those reporting information to the OIG will be protected.

(f) Whistle Blower Protection

- (i) Anyone who provides information to the OIG may not be discharged, demoted or otherwise subject to any adverse action as a result of reporting wrongdoing. Any person who retaliates against someone for reporting wrongdoing may be subject to civil liabilities and penalties.
- (ii) PHA Management supports the position that “whistle blowers” will be protected and commended for their honesty and dedication to the PHA.

(g) Authorized Negotiators

The offeror represents that the following persons are authorized to negotiate on its behalf with the PHA in connection with this request for proposals:
(list names, titles, and telephone numbers of the authorized negotiators):

11. Offeror’s Signature

Pursuant to 28 U.S.C. § 1746, I declare under penalty of perjury that the information contained in the foregoing certifications and representations is true and correct.

Signature & Date

Typed or Printed Name

Title

NON-COLLUSIVE AFFIDAVIT
(required if Certification & Representation Clause 5(e) is selected)

State of _____

County of _____

_____, being first sworn, deposes and

says: That he/she is _____ (president, sole owner, partner,

etc.) of _____ (firm name) the party making the forgoing proposal or bid, that such proposal or bid is genuine and not collusive or sham; that no one conspired, connived or agreed, directly or indirectly, with any bidder or person, to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly sought by agreement or collusion, or communication or conference, with any person, to fix the bid price of the affiant or of any other bidder, or to fix any overhead, profit or cost element of said bid price, to secure any advantage against the Philadelphia Housing Authority or any person interested in the proposed contract: and that all statements in said proposal or bid are true.

By _____

Title _____
(Affix Corporate Seal if required)

Subscribed and sworn to before me
this _____ day of _____, 20__.

My commission expires _____

(Notary Seal Required)

PHILADELPHIA HOUSING AUTHORITY
SECTION J
AFFIRMATIVE ACTION SECTION

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PART I: GENERAL

1.1 POLICY

As a requirement for receiving federal funds, the U.S. Department of Housing and Urban Development ('HUD') requires that the Philadelphia Housing Authority (hereinafter 'Authority') implement an Affirmative Action Contract Compliance Program under Executive Order Nos. 11246, 12432, 12138, 11625, to promote the development of certified Minority Business Enterprises (hereinafter 'MBE'), and certified Women Business Enterprises (hereinafter 'WBE'). This program will also comply with the requirements of Titles VI and VII of the Civil Rights Act of 1964, 42 U.S.C. §§ 2000 d & e, as amended, and HUD Regulations 24 C.F.R. § 85.36(e).

The Authority by this policy affirms its commitment to maximize the utilization of certified MBEs/WBEs in Authority contracts and subcontracts. To this end, the Authority will provide such assistance as will be needed to achieve this goal.

The aim of this policy is to discover and deter any present discrimination by bidders who seek contracts with the Authority. MBE/WBE minimum participation goals (hereinafter 'MPGs') shall be used as a screening device to determine whether discrimination may have occurred. Minimum goals of MBE/WBE participation will be indicated for each contract in the bid documents, and will be based upon availability of certified MBEs/WBEs. The MPGs are a means of determining whether or not a contractor shall be presumed to have engaged in discrimination. If the information furnished is below the MPGs, the bid package shall be subject to further review, in accordance with criteria set forth in this policy, to determine whether or not there was actual discrimination.

1.2 APPLICABILITY

This program shall apply to all nonexempt contracts awarded by the Authority which are connected with federally funded or federally assisted programs. Exemptions are more fully described in Part VI of this program.

1.3 DEFINITIONS

- A. **AAO:** Affirmative Action Officer, Director of the Authority's Affirmative Action Department.
- B. **Authority:** Any department, division, unit or office of the Philadelphia Housing Authority, including the Board of Commissioners.

- C. **BIDS:** A quotation, proposal, solicitation or offer by a Bidder or a Proposer to provide labor, materials, equipment, supplies or services to the Authority.
- D. **BIDDER:** Any person or entity that submits a quotation, bid or proposal to provide Labor, materials, equipment, supplies or services to the Authority.
- E. **BIDDER/PROPOSER AFFIRMATIVE ACTION IMPLEMENTATION PLAN:** Schedule of Participation and Binding Commitments Form and other documents submitted by Bidder /Proposer to support their Affirmative Action Plan. These submissions become an enforceable provision of the awarded contract.
- F. **CERTIFIED:** Any business that has, after application to a recognized certifying agency, been determined to be owned, controlled and managed by minority(s), women, or disadvantaged person(s).
- G. **CERTIFYING AGENCY:** Federal, state, local governmental or quasi-governmental agencies or authorities authorized by law to certify MBE/WBE's qualifications in terms of ownership, management and control.
- H. **COMPLIANCE:** A contractor or subcontractor who performs under an Authority contract in accordance with this Affirmative Action Contract Compliance Program shall be determined to be in compliance.
- I. **CONTRACTS:** Any Authority contract which is covered by this Affirmative Action Contract Compliance Program, whether competitively bid or negotiated, including contracts in the following areas:
 - 1. **VENDING:** for Material, Equipment, Services, and Supplies.
 - 2. **CONSTRUCTION:** for all types of construction; and
 - 3. **PERSONAL AND PROFESSIONAL SERVICES.**
- J. **DEBARMENT:** Exclusion from Authority contracting or subcontracting for a reasonable, specified period of time commensurate with the seriousness of the offense or failure or the inadequacy of performance.
- K. **DISCRIMINATION:** Any action or pattern of disparate treatment experienced in the solicitation for bids/proposals or in the award of a contract/subcontract because of: Race, Color, Sex, National Origin, Disability, or Religion.
- L. **EXEMPTION:** Any bid/proposal in which the minimum participation goal(s) have been excluded.

- M. **JOINT VENTURE:** A contractual partnership between the prime contractor and a certified minority-owned business enterprise and/or a certified women-owned business enterprise, which must be executed prior to the submittal of the bid/proposal.
- N. **MINIMUM PARTICIPATION GOAL (MPG):** The level of participation of certified MBE/WBEs set by the AAO. MPGs shall reflect the availability of certified MBE/WBEs in the subject area, and the level, which should be attained absent discrimination. MPGs are stated as a percentage. A Bidder/Proposer will not be rejected as not responsible solely because they fail to reach the MPGs.
- O. **MINORITY BUSINESS ENTERPRISE (MBE):** A business enterprise certified as a Minority Owned Business that is owned, managed and controlled by one or more socially or economically disadvantaged person(s). Such disadvantage may arise from cultural, racial, chronic economic circumstances or background or other similar cause. Such person(s) include, but are not limited to: Blacks/African-Americans, Puerto Ricans and other Hispanics, American Indians/Native Americans, Eskimos, Aleuts, Hasidic Jews, Asian Pacific Americans, and Asian Indians.
- P. **OWNED, MANAGED AND CONTROLLED:** Possession of at least fifty-one percent (51%) of the ownership of the business. Management and control of the daily for profit business operation or nonprofit organization held by one or more persons who are classified as a member of a minority group or a woman, as defined herein.
- 1 **Q.PRIME CONTRACTOR/CONTRACTOR/BIDDER OR PROPOSER:** Any person or business entity that is a party or potential party to a contract with the Authority.
- R. **RESPONSIBLE:** The Bidder's/Proposer's submissions of a written commitment to meet or exceed the MPG set forth in the bid, or in the absence of meeting or exceeding the MPG, a full and complete explanation therefore in accordance with this program.
- S. **RESPONSIVENESS:** The Bidder's/Proposer's submission of (in addition to the submission of any other required documentation), documentary evidence of certified MBE/WBEs who have been contacted and who are to be used on the contract. Documentation must be submitted with the bid/proposal and failure to submit evidence of "Best Efforts" and binding commitments will result in rejection of the bid/proposal and a determination made of non-responsiveness.

- T. WOMEN BUSINESS ENTERPRISE: A business enterprise certified as a Woman Owned Business that is owned controlled and managed by a woman.**

1.4 CERTIFICATION – A LEGITIMATE MBE/WBE

- A. To ensure that only businesses which are owned, managed and controlled in both form and substance by MBE/WBEs are participating in the Authority’s Affirmative Action Contract Compliance Program. MBE/WBE businesses, including joint ventures and nonprofit organizations, must be certified by a governmental entity authorized to certify such enterprises.**
- B. MBE/WBE certification shall not be determinative of a Bidder’s or Contractor’s financial or technical ability to perform specified work. The Authority reserves the right to evaluate the Bidder’s/Proposer’s, Contractor’s or Subcontractor’s ability to satisfy financial, technical or other criteria separate and apart from certification before or after bid opening.**
- C. The Authority recognizes that certified MBE/WBEs might be de-certified by the certifying governmental entity. Any business, which has been de-certified, shall not participate in the Authority’s Affirmative Action Contract Compliance Program.**
- D. The Authority reserves the right, if there is cause, to refuse a certification provided by a certifying agency.**

1.5 SUBSTITUTION OF CERTIFIED MBE/WBEs

Commitments to certified MBE/WBE firms made at the time of bidding must be maintained throughout the term of the contract, unless a change in commitment is pre-approved by the Authority’s AAO. If at any time after a bid/proposal is opened by the Authority, a Contractor is unable to meet the obligations of the Contractor’s Affirmative Action implementation Plan, as indicated on the Schedule of Participation and Binding Commitments Form, such Contractor may be required to present for approval to the AAO a substitute implementation Plan.

1.6 GUIDELINES FOR JOINT VENTURING

Joint Venture partnership(s) with either a certified MBE or a certified WBE must meet the following criteria in order to receive credit towards the minimum participation goals (MPGs):

- A. The MBE/WBE partner(s) must be certified by a governmental entity authorized by law to certify such enterprises prior to bid/proposal submittals.**

- B. The MBE/WBE partner(s) must be substantially involved in all phases of the contract including, but not limited to, the performance, with its own work force, a portion of the onsite work, and administrative responsibilities such as bidding, planning, staffing and daily management.**
- C. The business arrangement must be customary (i.e., each partner shares in the risk and profits of the joint venture commensurate with their ownership interests).**
- D. If the certified partner(s) is a MBE, its participation may be credited to the extent of the partner's ownership interest in the joint venture, however, it will still be required to meet the WBE goal or vice versa.**

1.7 CONTRACT LANGUAGE

Authority contracts subject to these procedures shall include language providing that compliance with MBE/WBE provisions have been met, and cooperation with the Authority on contractual matters is material to the Authority's contract. The successful Bidder's/Proposer's Affirmative Action Plan submissions will become an enforceable provision of the contract. Failure to comply with the Authority's Affirmative Action Contract Compliance Program or otherwise comply with the Bidder's/Proposer's submissions, may be grounds for a finding of contractor non-responsibility.

1.8 AMENDMENT

These procedures may be amended as may be necessary. Any amendment shall become effective upon the approval and adoption by the Philadelphia Housing Authority Board of Commissioners.

1.9 SEVERABILITY

The provisions of these procedures are separate and severable. The invalidity of any clause, sentence, paragraph, subdivision, section or portion of these procedures, or the invalidity of the application thereof to any person or circumstances shall not affect the validity of the remainder of the procedures or their application to other persons.

5 PART II: RESPONSIBILITIES

2.1 AFFIRMATIVE ACTION OFFICER

The AAO reports directly to the General Manager of Contracts/Procurement for the Philadelphia Housing Authority. The AAO is authorized and shall perform functions, which include, but are not limited to:

- A. Establish or modify minimum participation goals (MPGs) for Authority contracts based upon the dictates of market availability of certified MBE/WBEs and/or applicable laws and regulations to perform various elements of the contract.
- B. The AAO will engage in the review of bid/proposal packages to ensure that the packages provide maximum opportunity for certified MBE/WBE participation and shall have the authority to recommend approval or disapproval of any bid package to ensure compliance with this program.
- C. Attend all Pre-bid and Pre-construction meetings.
- D. Monitor and audit contractor's performance including site and business office visits to ascertain whether the contractor has discriminated or has practices which have had a disparaging or discriminating effect, and to determine that the certified MBE/WBE is performing its function in accordance with authorized standard industry practices.
- E. Maintain participation records and prepare periodic reports that include, but are not limited to the following data:
 - 1. A summary of contracts awarded specifying the percentage of participation.
 - 2. A survey comparing past and current contract participation goals of certified businesses.
 - 3. Any relevant recommendation that may enhance efficiency and effectiveness of the Affirmative Action Contract Compliance Program.
- F. For Comprehensive Improvement Modernization Program (hereinafter "CIAP") funded contracts, prepare and report the Authority's MBE/WBE progress on HUD Form #2516 – Contract and Subcontract Activity Report for Public and Indian Housing Programs.
- G. Receive, document and evaluate complaints relative to violations of the Affirmative Action Contract Compliance Program.

H. Report findings of discrimination, in writing, to the Executive Director through the General Manager of Contracts/Procurement.

I. Interact with city, state, and federal agencies involved in the administration of certified MBE/WBE programs.

2.2 CONTRACTING OFFICER

A. SOLICITATION – The Authority’s Contracting Officer shall actively solicit certified MBE/WBEs to compete for contracting opportunities as Prime/General Contractors.

B. REPORTS – The Affirmative Action Officer shall gather information required to prepare various reports that detail:

1. The original total dollar amount of each contract awarded according to the categories of vending, construction, personal services and professional services, including the total dollar amount of each contract resulting from any contract amendment or change orders subsequent to award.

2. The original total dollar amount of each contract awarded to each certified MBE/WBE as a Prime/General Contractor, as well as the actual dollar amount of each contract including contract amendments or change order(s).

2.3 COORDINATION WITH CONTRACT CONTROL SPECIALISTS

A. The AAO shall coordinate with the Contract Control Specialist for information as may be required in the performance of the AAO function. Such information may include, but is not limited to:

1. Explanation of the elements of the work to be performed under a contract.

2. A reasonable estimate of costs, type(s) and quantity of supplies, materials and equipment required for performance under a contract.

3. A reasonable estimate of employees and their classifications required for performance under a contract.

B. The Authority’s Contracting Officer shall also do the following, with or without coordination with the AAO:

- 1. Divide total requirements, when economically feasible, into smaller tasks or quantities to permit maximum participation by certified MBE/WBEs.**
- 2. Establish delivery schedules, where the requirement permits, which encourage participation by certified MBE/WBEs.**
- 3. Use the services and assistance of the Small Business Administration and Minority Business Development Agency of the Department Commerce.**

6 PART III: BIDDER/PROPOSER AFFIRMATIVE ACTION

IMPLEMENTATION PLAN

3.1 GENERAL REQUIREMENTS

Each Bidder's/Proposer's Affirmative Action implementation Plan shall include the following:

- A. The business name, address, contact person, telephone number, certification number, certifying agency(s), and Internal Revenue Service Employer's Identification Number (E.I.N.).**
- B. A description of the work that will be performed by each designated contractor/subcontractor.**
- C. The date of solicitation, contact person's name, whether contact was by phone or mail, and if a quote was received from the designated MBE/WBE.**
- D. Confirmation of commitment made as to the level of certified MBE/WBE participation described as a percentage of the total base contract proposal dollar amount and percentage of commitments.**
- E. If no commitment is made to meet or exceed the stated MPGs, the Bidder/Proposer must provide documentation that the following steps were taken:**
 - 1. Requested and attended a briefing and information meeting with the Authority staff designed to explain the Affirmative Action Contract Compliance Program pertaining to certified MBE/WBE participation.**
 - 2. Advertised in general circulation, media, trade association publications, and minority/women-focused media concerning subcontracting and supplier opportunities.**
 - 3. Participated in Authority sponsored conferences and seminars designed specifically for the promotion of the Authority's Affirmative Action Contract Compliance Program pertaining to certified MBE/WBE participation.**
 - 4. Notified certified MBE/WBEs and solicited their participation in the reference contract. The names, addresses, telephone numbers, and contact persons of the firms notified must be provided.**

5. **Provided complete information about plans, specifications, and requirements of the contract to interested certified MBE/WBEs.**
 6. **Made reasonable efforts to negotiate with certified MBE/WBEs for specific sub-bids. All such contacts must be fully documented. If a sub-bid of a certified MBE/WBE is rejected, the Bidder/Proposer must document and explain the reason for the rejection. Rejection based solely on the initial response from a certified MBE/WBE will not be sufficient to establish non-discrimination and “Best Efforts” toward compliance.**
- F. Attest to the fact that the certified MBE/WBE will perform work, which is necessary and required for contractor to fulfill their obligation under the applicable contract and specification.**

7 PART IV: CONSTRUCTION CONTRACT AFFIRMATIVE ACTION
8 IMPLEMENTATION PLAN

4.1 MINIMUM PARTICIPATION GOALS

The AAO shall set MPGs for Specifications/Contracts/Request for Proposals.

(MODERNIZATION FUNDS)

The MPGs which have been set by the AAO as of the date of implementation of this program, are and shall be, until or unless they are revised, as follows:

<u>MBE</u>	<u>WBE</u>
20%	10%

- A. A Bidder/Proposer will not be rejected as non-responsive solely because they fail to reach the MPGs. However, a contractor may be considered not responsive if the MPGs are not met and no acceptable justification is offered for a lack of compliance.
- B. When a firm/company contracts with an enterprise that is both a certified MBE and a certified WBE, credit toward the MPG will be received for one category only. Bidders/Proposers shall indicate in their plan which category is being credited.
- C. A certified MBE/WBE firm bidding as a prime/general contractor shall still be required to submit an Affirmative Action Implementation Plan. However, where the primary contract is awarded to either a certified MBE or a certified WBE the Authority shall count the entire dollar amount of the contract towards meeting the MPG.
- D. Certified MBE/WBE subcontractors shall perform at least seventy-five percent (75%) of the cost of the subcontract, not including cost of materials, with their own employees. This provision shall not apply to suppliers or distributors.

4.2 CONSTRUCTION CONTRACT BIDDER/PROPOSER RESPONSIVENESS

- A. Bidders/Proposers must submit information indicating certified MBE/WBE firms, which have been solicited, quotes that have received (solicited and unsolicited), and firms to which commitments have been made. Documentation of such solicitations, quotes, and commitments must be submitted concurrently with the bid/proposal. Failure to submit the required information is sufficient cause for rejection of the bid as non-responsive.
- B. Mailings to large numbers of certified MBE/WBEs which are intended to provide notice of a contractor's interest in bidding on a construction

contract will not be deemed solicitation, but will be treated as informational notification only.

- C. A Bidder/Proposer should only solicit certified MBE/WBE subcontractors, manufacturers or supplies whose work, materials or supplies are within the project scope and are related to project line items or portions thereof, and which the Bidder/Proposer reasonable believes it will choose to subcontract with or purchase from.**
- D. Bidders/Proposers failing to meet the MPGs must submit concurrently with the bid submissions, the information required under Part III, Section E, of the Affirmative Action Contract Compliance Program.**

4.3 CONSTRUCTION CONTRACT BIDDER/PROPOSER RESPONSIBILITY

The submittals of each Bidder/Proposer are subject to review to determine whether the Bidder/Proposer has discriminated in the selection of manufacturers, subcontractors or suppliers, or has taken affirmative steps in the utilization of certified MBE/WBEs to ensure compliance with this policy. If a Bidder/Proposer has met the MPGs, the Authority's Contracting Officer may presume that the Bidder has not discriminated in its selections. A Bidder/Proposer who fails to meet the MPGs shall satisfactorily provide the documentation set forth in Part III, Section E, of this program. The AAO shall perform a review of the submitted documentation to determine whether discrimination has occurred. If appropriate, the AAO may invoke the provisions of Part VII, Section 7.3 (Willful Non-Compliance) and recommend sanctions contained therein.

**9 PART V: VENDING AND PERSONAL/PROFESSIONAL
SERVICES CONTRACT AFFIRMATIVE ACTION
IMPLEMENTATION PLAN**

5.1 MINIMUM PARTICIPATION GOALS

The AAO shall set MPGs for Specifications/Contracts/Request for Proposals.

(MANAGEMENT FUNDS)

The MPGs which have been set by the AAO as of the date of implementation of this program, are and shall be until or unless they are revised, as follows:

<u>MBE</u>	<u>WBE</u>
10%	10%

- A. A Bidder/Proposer will not be rejected as non-responsive solely because they fail to reach the MPGs. However, a contractor may be considered non-responsible if the MPGs are not met, and they are not in compliance with Part III, Section E.
- B. When a firm/company contracts with an enterprise that is both a certified MBE and a certified WBE, credit toward the MPG will be received for one category only. Bidders/Proposers shall indicate in their Plan which category is being credited.
- C. A certified MBE/WBE firm bidding as a prime contractor shall still be required to submit an Affirmative Action Implementation Plan. However, where the primary contract is awarded to either a certified MBE or a certified WBE the Authority shall count the entire dollar amount of the contract towards meeting the MPG.

**5.2 VENDING AND PERSONAL/PROFESSIONAL SERVICES CONTRACT
AFFIRMATIVE ACTION BIDDER/PROPOSER RESPONSIVENESS**

- A. Bidders/Proposers must complete and submit with the bid/proposal, certified MBE/WBE Schedule of Participation and Binding Commitments Form. Failure to submit these forms with the bid/proposal may result in the bid being rejected as non-responsive.
- B. Mailings to large number of certified MBE/WBE's which are intended to provide notice of a contractor's interest in bidding on a vending and personal/professional service contract will not be deemed solicitation, but will be treated as informational notification only.
- C. A Bidder/Proposer should only solicit certified MBE/WBE subcontractors, vendors, manufacturers or suppliers whose services, materials or supplies are

within the scope of work bidden on, and which the Bidder/Proposer reasonably believes it will choose to subcontract with or purchase from.

- D. Bidders/Proposers failing to meet the MPGs must submit concurrently with the bid submissions the information required under Part III, Section E, of the Affirmative Action Contract Compliance Program.**

**5.3 VENDING AND PERSONAL/PROFESSIONAL SERVICE CONTRACT
AFFIRMATIVE ACTION BIDDER/PROPOSER RESPONSIBILITY**

The submittals of each Bidder/Proposer are subject to review to determine whether the Bidder/Proposer has discriminated in the selection of manufacturers, subcontractors or suppliers, or has taken affirmative steps in the utilization of certified MBE/WBEs to ensure compliance with this policy. If a Bidder/Proposer has met the MPGs, the Authority's Contracting Officer may presume that the Bidder/Proposer has not discriminated in its selections. A Bidder/Proposer who fails to meet the MPGs shall satisfactorily provide the documentation set forth in Part III, Section E, of this program. The AAO shall perform a review of the submitted documentation to determine whether discrimination has occurred. If appropriate, the AAO may invoke the provisions of Part VII, Section 7.3 (Willful Non-Compliance) and recommend sanctions contained therein.

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14 PART VI: EXEMPTIONS**6.1 EXEMPTED CONTRACTS**

The Authority recognizes that in certain limited circumstances, compliance with this Affirmative Action Contract Compliance Program will not be feasible, nor in the best interest of the Authority or its residents. With the approval of the Executive Director, Contracting Officer and the Affirmative Action Officer, the following contracts may be exempted:

- A. A vending contract, for equipment, materials, services and supplies where the total dollar amount of the contract is less than Ten Thousand Dollars (\$10,000.00).**
- B. A construction contract where the total dollar amount of the contract is less than Ten Thousand Dollars (\$10,000.00).**
- C. A professional or personal services contract where the total dollar amount of the contract is less than Ten Thousand Dollars (\$ 10,000.00).**
- D. Any public exigency or emergency contract where the nature of the emergency will not allow for a delay, which would occur from competitive solicitation.**

7.1 STANDARDS FOR REASONABLE CAUSE:

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AFTER A CONTRACT HAS BEEN AWARDED

- A. The AAO may find that a Contractor is not in compliance with contract requirements for reasons, which include, but are not limited to:
1. Documentation of information furnished by the contractor, which does not demonstrate that, a certified MBE/WBE is performing the work actually contracted.
 2. Failure or refusal by a contractor to furnish information requested by the Authority.
 3. Discovery of information, which is contrary to compliance information previously submitted by the contractor.
 4. Contractor's failure, neglect or refusal to pay certified MBE/WBE subcontractor(s) for completed and approved work within seven (7) working days after payment by the Authority to the contractor.
 5. Other facts discovered by the Authority's AAO.
- B. Whenever the AAO determines it has reasonable cause to believe that a contractor is not in compliance or that the contractor has discriminated against certified WBE/MBEs, the AAO shall promptly prepare a written notice to be signed by the Contracting Officer and sent by certified mail to the contractor. The notice shall state the reasons for the AAO's belief that the contractor is not in compliance and/or has discriminated against certified MBE/WBEs. In response to said notice, the contractor shall be required to show cause within seven (7) working days why it should not be found:
1. In breach of contract, or
 2. To have discriminated against certified MBE/WBEs.
- C. Based upon information supplied by the contractor, if any, and other documentation and/or information, and with the approval of the General Manager of Contracts/Procurement, the AAO shall proceed expeditiously with an investigatory, evaluative review to clarify the allegations. In the event that the allegations are found to be valid by the AAO, said officer shall notify the Contracting Officer and Executive Director who shall send notification of such finding(s) to the contractor setting forth the appropriate remedial action.

7.2 GOOD FAITH NON-COMPLIANCE

- A. In cases where the AAO has cause to believe that a contractor, acting in good faith, has failed to comply with the provisions of the procedures, the AAO with the assistance and involvement of the Authority's Contracting Officer shall attempt to resolve the non-compliance through conciliation and persuasion.**
- B. In conciliation, the contractor must satisfy the Authority that they have made their "Best Efforts" to achieve the agreed upon participation goals by certified MBE/WBEs. "Best Efforts" on the part of the contractor include:**
 - 1. Entering a contractual relationship with the designated MBE/WBE in a timely manner, and fulfilling all contractual requirements.**
 - 2. Notifying both the certified MBE/WBEs subcontractor and the Authority's AAO of any problems in a timely manner.**
 - 3. Requesting assistance from the AAO in resolving any problems with certified MBE/WBEs.**
 - 4. Making every reasonable effort to assist the certified MBE/WBE in the performance of its contract with the Authority.**

7.3 WILLFUL NON-COMPLIANCE

- A. In cases where the AAO has cause to believe that any Bidder, Proposer, or Contractor has failed to comply with the provisions of these procedures, said officer shall be empowered to conduct an investigation subsequent to written direction of the General Manager of Contracting/Procurement.**
- B. After affording the Bidder, Proposer or Contractor notice and an opportunity to be heard, the AAO will be authorized to recommend sanctions for each violation of these procedures. Such sanctions may include, but are not limited to:**
 - 1. Declare the bid or proposal as non-responsible and the Bidder/Proposer ineligible to receive the award of the contract or any other future contracts.**
 - 2. Suspension from doing business with the Authority for a set period of time.**
 - 3. Debarment.**
 - 4. Withholding of payments under the contract.**
 - 5. Other relief the AAO deems necessary, proper, and in the best interest of the Authority.**

PART VIII: APPEALS

**8.1 STANDARDS OF APPEAL:
AFTER THE CONTRACT HAS BEEN AWARDED**

A Bidder, Proposer, or Contractor may appeal a decision pursuant to any action taken under the provisions of Part VII: Compliance Review, by filing a written grievance with the AAO. An appeal by the Bidder, Proposer or Contractor under this section shall not stay the AAO's finding(s).

8.2 WRITTEN GRIEVANCE

- A. The grievance shall set forth the reasons supporting it. The grievance shall be filed within ten (10) working days of the date that the finding, recommendation, proposal or other relief becomes effective. Failure to grieve in a timely manner shall be deemed a waiver of said right or breach of the conditions of this policy.
- B. If a person requests a hearing at the time the grievance is filed, the AAO shall schedule a hearing within seven (7) working days of the date the grievance is filed, unless the person requesting a hearing agrees to a continuance provided it is not contrary to best interest of the Authority to permit the delay. The AAO shall notify in writing, the person filing the grievance, of the date, time and place of the hearing.
- C. If a hearing is not requested, the AAO shall make a determination and notify the contractor within (7) working days.

8.3 HEARING

Five (5) working days prior to a scheduled hearing, the AAO shall issue and serve a written notice, together with a copy of the grievance as filed, to all persons named in the grievance. Such persons may be required to appear before a hearing panel at the date, time and place specific in the notice.

8.3.1 PANEL

- A. The Executive Director shall designate a panel of three (3) or more individuals, one (1) of whom will be a member of the Affirmative Action Oversight Committee, to preside at such hearing, and to render a written decision on the grievance.
- B. A party may request testimony from any person when it is determined that such testimony may assist in the resolution of the grievance. All proceedings will be transcribed and a record shall be maintained.
- C. Any person or heads of departments named in the grievance may file a written answer to the grievance, and may appear at such hearing in person.
- D. The panel shall not be bound by the strict rules of evidence prevailing in the courts of law or equity.

8.3.2 TESTIMONY

- A. The testimony taken at the hearing shall be under oath.**
- B. The parties have a right to request that the notes of testimony be transcribed.**
- C. Testimony shall be taken by the panel and the person filing the grievance and person (s) and heads of departments named in the grievance shall be given an opportunity to be heard.**

8.4 DECISION

- A. Within twenty (20) working days after the conclusion of the hearing, the panel shall render a written decision as to the validity of the grievance, as well as an appropriate recommendation.**
- B. A copy of the decision shall be sent by U.S. certified mail, returned receipt requested, to the grievant.**

8.5 EFFECT OF A PENDING DECISION

Pending a decision by the panel, the Philadelphia Housing Authority's Executive Director may stay any action pertaining to the grievance, if such stay is determined to be in the best interest of the Authority.

The Philadelphia Housing Authority Board of Commissioners shall appoint an Affirmative Action Oversight Committee to monitor and evaluate the implementation and administration of the Affirmative Action Contract Compliance Program. The Oversight Committee shall have as its membership, at least one (1) member of the Board of Commissioners, Executive Director, General Counsel, and other individuals from the Authority's community at large. The Committee will prepare periodic reports for the Board and address related issues as requested by the Board of Commissioners.

**SCHEDULE OF PARTICIPATION
"CERTIFICATION OF BEST EFFORTS"**

Specification Number: _____

Name of Bidder: _____

MBE/WBE	Detailed Description of Work	M/WBE PARTICIPATION	
		DOLLAR AMOUNT \$	PERCENT
		MBE%	WBE%
NAME: ADDRESS: PHONE NO: IRS ID#: CERT. NO.: CERT. AGCY:	YES NO <input type="checkbox"/> <input type="checkbox"/> Will any of this work be subcontracted by the M/WBE? (See Note #3) <input type="checkbox"/> <input type="checkbox"/> Will bidder assist M/WBE with any of this work? (See Note #4)		
NAME: ADDRESS: PHONE NO.: IRS ID#: CERT. NO.: CERT AGCY:	YES NO <input type="checkbox"/> <input type="checkbox"/> Will any of this work be subcontracted by the M/WBE? (See Note#3) <input type="checkbox"/> <input type="checkbox"/> Will bidder assist M/WBE with any of this work? (See Note #4)		

DUPLICATE THIS FORM IF YOU ARE LISTING MORE THAN TWO (2) M/WBE SUBCONTRACTORS

PLEASE NOTE:

1. A binding commitment must have been achieved with the M/WBE for the detailed work and dollar amount stated on this form.
2. M/WBE listed above must be certified by a certifying agency in order to be credited towards the required minimum participation goals.
3. If the M/WBE intends to subcontract more than 10% of the work detailed on this form, such subcontractors, description of work, and dollar amount must be listed on a duplicate copy of this form.
4. If the bidder plans to supply the M/WBE with materials, personnel or equipment, such assistance must be listed on this form in the block marked "Detailed Description of work."
5. Any change to this schedule (the named M/WBE, description of work, or dollar amount) must be approved in advance by the Affirmative Action Officer (AAO).

DOCUMENTATION OF BEST EFFORTS

**Specification
Number:** _____

**Name
of Bidder:** _____

**CERTIFIED MINORITY/WOMEN OWNED BUSINESSES
UNAVAILABLE TO PARTICIPATE IN THE CONTRACT.**

List below the name of all certified minority/women owned businesses whose interest in the contract were solicited, but who were unavailable to work on this project or were unable to prepare a quote. State the reasons for the unavailability of certified minority/women owned businesses. In order to facilitate verification and avoid delays in contract awards, it is requested that each business listed below be identified on the "Affidavit of Unavailability of Certified Minority/Women Owned Businesses" (Page K-28).

INFORMATION AND ASSISTANCE PROVIDED TO CERTIFIED MINORITY/WOMEN OWNED BUSINESSES.

Include names and addresses of all certified minority/women owned businesses that you provided with plans, specifications, and requirements of the contract. Detail all assistance you provided to interested certified minority/women owned businesses and all your efforts at negotiation for specific sub-bids, and include any advertisements soliciting their participation.

I do hereby attest that I have exerted best efforts, but have been unable to obtain the required minimum participation goals for the following reason: *

Company Name

Specification Number

Name (Signature)

Title

***You may attach supplemental pages and documentation if necessary.**

17 AFFIDAVIT OF UNAVAILABILITY OF CERTIFIED
MINORITY/WOMEN OWNED BUSINESSES

Specification Number: _____ Name of Bidder: _____

I, _____, do hereby attest that

I was offered an opportunity to bid on the contract for:

(Description of Contract)

by _____
(Name of Prime Bidder)

but was unavailable to participate/unable to prepare a quote (strike inappropriate phrase) for the following reasons:*

Name of Certified Minority/Women Owned Business

Address and Phone Number

Signature of Principal of Certified
Minority/Women Owned Business

Title

Certifying Agency and Number

*You may attach supplemental pages and documentation if necessary.

GUIDELINES FOR JOINT VENTURING

BETWEEN A PRIME CONTRACTOR AND A CERTIFIED MINORITY/WOMAN-OWNED BUSINESS ENTERPRISE

If a Prime Contractor has made arrangements to enter into a joint venture partnership with either a certified MBE or WBE, the following criteria must be met in order to receive credit towards the minimum participation goals (MPGs):

- A. The MBE/WBE partner(s) must be certified by a governmental entity authorized by law to certify such enterprises prior to bid/proposal submittals.**
- B. The MBE/WBE partner(s) must be substantially involved in all phases of the contract including, but not limited to, the performance, with it own work force, a portion of the on-site work, and administrative responsibilities such as bidding, planning, staffing and daily management.**
- C. The business arrangement must be customary (i.e., each partner shares in the risk and profits of the joint venture commensurate with their ownership interests).**
- D. If the certified partner(s) is a MBE, its participation may be credited to the extent of the partner's ownership interest in the joint venture. However, it will still be required to meet the WBE goal or vice versa.**

18 JOINT VENTURE QUESTIONNAIRE

If you intend to receive credit towards the minimum participation goals (MPGs) by entering into a joint venture partnership with a certified MBE/WBE, you must complete this questionnaire and submit it along with your bid/proposal.

1. NAME OF THE JOINT VENTURE _____

2. ADDRESS OF THE JOINT VENTURE _____

3. TELEPHONE NUMBER () _____

4. CONTACT PERSON & TITLE _____

5. IDENTIFY BELOW ALL OF THE FIRMS WHICH COMPRISE THE JOINT VENTURE PARTNERSHIP(S). IDENTIFY WHETHER THE FIRM IS A CERTIFIED MBE/WBE. INCLUDE CERTIFICATION NUMBER AND AGENCY WHERE APPLICABLE, AND INDICATE THE PERCENTAGE OF JOINT OWNERSHIP INTEREST.

NAME:

ADDRESS:

TELEPHONE NUMBER: MBE _____ WBE _____

IRS ID#

CERTIFICATION NUMBER: PERCENTAGE OF OWNERSHIP _____

CERTIFYING AGENCY:

NAME:

ADDRESS:

TELEPHONE NUMBER: MBE _____ WBE _____

IRS ID#

CERTIFICATION NUMBER: PERCENTAGE OF OWNERSHIP _____

CERTIFYING AGENCY:

NAME:

ADDRESS:

TELEPHONE NUMBER: MBE _____ WBE _____

IRS ID#

CERTIFICATION NUMBER: PERCENTAGE OF OWNERSHIP _____

CERTIFYING AGENCY:

6. DESCRIBE, IN DETAIL, THE BUSINESS PURPOSE OF THE JOINT VENTURE PARTNERSHIP AND THE ROLE OF EACH FIRM IN THE JOINT VENTURE. INCLUDE INFORMATION REGARDING DAILY MANAGEMENT, BIDDING, PLANNING, ON-SITE WORK, AND STAFFING. ATTACH SUPPLEMENTAL PAGES IF NECESSARY.

7. ATTACH A COPY OF THE JOINT VENTURE AGREEMENT.

Any changes to the joint venture agreement attached hereto or to this questionnaire, including changes in any of the arrangements described herein, must be approved in advance by the Authority's Affirmative Action Officer.

Each undersigned does hereby attest that the foregoing statements are true and correct.

NAME OF FIRM

NAME OF FIRM

SIGNATURE OF FIRM'S
AUTHORIZED AGENT

SIGNATURE OF FIRM'S
AUTHORIZED AGENT

PRINTED NAME

PRINTED NAME

TITLE

TITLE

DATE

DATE

PHILADELPHIA
HOUSING
AUTHORITY

SECTION 3 POLICIES AND FORMS

REVISED AUGUST 2013



Philadelphia Housing Authority
Building Beyond Expectations



INTRODUCTION

This Policy Statement and Forms Package:

- Sets forth the policy, goals, and preferences of the Philadelphia Housing Authority (“PHA”) in the administration of its Section 3 program, which is intended to ensure that employment and other economic opportunities generated by certain financial assistance provided by the U.S. Department of Housing and Urban Development (“HUD”) shall, to the greatest extent feasible, and consistent with existing Federal, State, and local laws and regulations, be directed to low- and very low-income persons, and to business concerns which provide economic opportunities to low- and very low-income persons;
- Summarizes the standards and procedures to be followed to ensure that the objectives of Section 3 are met that are set out in 24 C.F.R Part 135;
- Provides the guidelines for contractors to follow; and
- Contains forms for contractors to demonstrate compliance.

Special emphasis is given to hiring residents of PHA communities. The requirements and forms follow.

For more information visit HUD’s website at:

<http://www.hud.gov/section3>

or visit PHA’s website at:

<http://www.pha.phila.gov/section3jobs>

Educational workshops for residents, vendors and prospective businesses are available.

Workshops include Section 3 Policies and Procedures, as well as Contracting Process review. Sessions and times can be found at:

<http://www.pha.phila.gov/business-opportunities.aspx>



Philadelphia Housing Authority
Building Beyond Expectations

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I. BID OR PROPOSAL EVALUATION

Vendors who fail to address Section 3 requirements may be deemed nonresponsive. To avoid being nonresponsive, the proposal or bid documents submitted to the PHA must include the Contractor's Affidavit and Compliance Commitment, and all applicable attachments and supporting documentation, supporting claims of compliance by hiring, contracting, or other economic opportunities, in the proposal or bid documents submitted to the PHA.

A vendor who fails to address Section 3 requirements sufficiently may receive a written notice from the PHA specifying the defects in the Section 3 information. Vendors receiving such notice will be given no more than 5 business days to address the deficiencies and provide all required documents. Failure to respond within the 5 days will result in PHA declaring the bidder or respondent non-responsive. The contract or bid will then be awarded to the next lowest bidder or to the respondent with the next highest score. Where the selection is based procurement, PHA will award to the firm that is the next highest ranked.

In evaluating proposals, PHA will give credit to firms that employ Section 3 Residents that are not new hires and that will be assigned to the Section 3 Covered Project for which the proposal is submitted.



FORMS – PRIOR TO BID

The following forms should be submitted prior to or at the time of a bid in anticipation of receiving a contract award to document Section 3 efforts and compliance.

Form 1 – Existing Employee List. This list identifies who will work on the PHA project. Any workers added after initiation of work will be assumed to be new hires.

Form 2 – Hiring Plan. This form requires the contractor to specify all positions anticipated to be involved in work. Included is a narrative statement regarding plans.

Form 3 – Hiring and Contracting Goals Narrative. This form is used to describe the efforts made in order to comply with Section 3 Hiring and Contracting goals.

Form 4 – Contracting Plan Worksheet. This form lists each contract to be used and applies Section 3 and other criteria to the contracts.

Form 5 - Subcontractor Activity. This form applies if subcontracting will be performed. Subcontractors will be listed, along with Section 3 information.

***Form 6** – Section 3 Residency Self Certification Form. This form is to be filed out for each Section 3 Resident currently hired or hired in the future.

***Form 7** – Section 3 Business Concerns. This worksheet provides backup information regarding Section 3 Business Concerns involved in performance of work.

Form 10 – Utilization Plans. If Tier 3 is selected, contractors shall provide the information in this form.

***Only complete forms if requesting Section 3 Business Concern Preference in proposal evaluation**



FORMS – DURING CONTRACT

The following forms should be submitted after a contract is issued or during the contract lifespan as required (such as personnel changes) to document Section 3 efforts and compliance:

Form 6 – Resident Affidavit. This form is to be filed out for each Section 3 Resident currently hired or hired in the future.

Form 7 – Section 3 Business Concerns. This worksheet provides backup information regarding Section 3 Business Concerns involved in performance of work.

Form 8 – Employee Termination Tracking Form. This form collects information on termination of Section 3 Residents.

Form 9 – Resident and Business Concern Affidavit. This affidavit is to be executed by the Contractor and/or subcontractor to demonstrate Section 3 qualifications.

Form 11 -FTE Report. This document tracks employees, trades, hours worked, and projects. This form should be completed monthly for construction projects and quarterly for non-construction projects.



Philadelphia Housing Authority
Building Beyond Expectations

FORM - 1
EXISTING EMPLOYEE LIST

A. PROJECT NAME AND LOCATION: _____

B. DEVELOPER/CONTRACTOR /APPLICANT: _____

C. DATE: _____

EMPLOYEE NAME/ADDRESS	SOCIAL SECURITY NUMBER (LAST 4 DIGITS)	JOB CATEGORY/TRADE

**SUBCONTRACTOR ACTIVITY REPORT (if applicable)
FORM-5**

Contract Number:		HUD Funding Source:	Date:			
(A)	(B)	(C)	(C)			
Contractor:		Address:				
(D)						
Project Name and Location:		Actual Construction Start Date:				
(E)	(F)					
Name of Subcontractor Complete Address and Tax I. D. Number	Amount of Contract	Ethnic/Racial Code	Gender Code	Section 3 Business Concern (Y/N)	Type (s) of Services Provided (Including Supplies)	Anticipated Start and Completion Date:
(G)	(H)	(I)	(J)	(K)	(L)	(M)
	\$					From:
#:	\$					To:
	\$					From:
#:	\$					To:
	\$					From:
#:	\$					To:

Ethnic/Racial Codes:

- | | | | |
|---------------------|----------------------|---------|----------|
| 1. White American | 3. Hispanic American | Pacific | American |
| 2. African American | 4. Asian | | |



**PHILADELPHIA HOUSING AUTHORITY
SECTION 3 RESIDENCY
SELF-CERTIFICATION FORM
FORM - 6**

INSTRUCTIONS: Please complete this form to verify your qualification as a Section 3 resident.

1) I, _____, (PRINT NAME) am a legal resident of the City of Philadelphia and am either a resident of Philadelphia Housing Authority ("PHA") housing or meet the income eligibility guidelines for a low or very low income person, as set forth on the next page.

2) I certify that I am a Section 3 resident because (check all that apply):

- I am a PHA resident and my Client ID # is: _____, or
- I am City of Philadelphia resident who lives within ½ mile radius of a site where Section 3 contracted work is being performed; there are a total of _____ people living in my household and with my total annual household income is \$_____.

3) My home address and phone number are:

(MUST BE A STREET ADDRESS NOT A P.O. BOX #) (APT. NUMBER)

(PHA SITE NAME – IF APPLICABLE)

(CITY) (STATE) (ZIP) (HOME TEL.) (CELL NO.)

4) The last four digits of my social security number are: _____

I certify that all of the information given above is true and correct. If found to be inaccurate, I understand that I may be disqualified as an applicant and/or a certified Section 3 individual which may be grounds for termination of training, employment, or contracts that resulted from this certification. I attest under penalty of perjury that my total household income annually, based on my total household size as listed above is at or below the income amount for that specific size at the time of this document is being signed. I understand that proof of this statement may be requested in the future.

Signature

Date



SECTION 3 HUD INCOME LIMITS (Effective 7/22/14)

All residents of public housing developments of the Philadelphia Housing Authority qualify as Section 3 residents.* Additionally, individuals residing in the City of Philadelphia within a ½ mile radius of a site where Section 3 contracted work is being performed, who meet the income limits set forth below, can also qualify for Section 3 status

Eligibility Guideline		
Number in Household	Very Low Income	Low Income
1 individual	\$ 27,600	\$ 44,150
2 individuals	\$ 31,550	\$ 50,450
3 individuals	\$ 35,500	\$ 56,750
4 individuals	\$ 39,400	\$ 63,050
5 individuals	\$ 42,600	\$ 68,100
6 individuals	\$ 45,750	\$ 73,150
7 individuals	\$ 48,900	\$ 78,200
8 individuals	\$ 52,050	\$ 83,250

* Section 3 is a provision in the Housing and Urban Development Act of 1968 (12 U.S.C. Section 1701u and 24 C.F.R. Section 135.1). Its purpose is to ensure that economic opportunities, to the greatest extent feasible, are given to low and very low-income persons, particularly to recipients of government housing assistance. Section 3 job opportunities relate to new hiring due to contracts with PHA. Section 3 residents are PHA residents, or persons who live within ½ mile radius where a Section 3 contract is being performed and who have a household income that is low income or very low income under HUD's income limits.



**AFFIDAVIT FOR BUSINESS CONCERNS SEEKING SECTION 3
PREFERENCE IN CONTRACTING AND DEMONSTRATION OF CAPABILITY
(if applicable) FORM-7**

The undersigned, being first duly sworn, on oath represents, warrants, certifies, deposes and says, under penalty of law, as follows:

A. Name of Business (the "Company") _____
 Address of Business _____
 Type of Business: Corporation Partnership
 Sole Proprietorship Joint Venture
 Attached is the following documentation as evidence of status:

B. **For Business claiming status as a Section 3 resident-owned enterprise:**
 Copy of resident lease Copy of receipt of public assistance
 Copy of evidence of participation Other evidence
 in a public assistance program

C. **For business entity as applicable:**
 Copy of Articles of Incorporation Certificate of Good Standing
 Assumed Business Name Certificate Partnership Agreement
 List of owners/stockholders and Corporation Annual Report
 % ownership of each Latest Board minutes appointing officers
 Organization chart with names and titles Additional documentation
 and brief function statement

D. **For business claiming Section 3 status by subcontracting 25 percent of the dollar amount awarded to qualified Section 3 business:**
 List of subcontracted Section 3 business(es) and subcontract amount

E. **For business claiming Section 3 status, claiming at least 30 percent of its workforce are currently Section 3 residents or were Section 3 eligible residents within 3 years of date of first employment with the business:**
 List of all current full-time employees List of employees claiming Section 3 status
 PHA Residential lease less than 3 Other evidence of Section 3 status less
 years from day of employment than 3 years from date of employment

NOTE: Current HUD income limits for Section 3 residents may be found by going to <http://www.huduser.org/portal/datasets/il/il111/index.html> and selecting the Philadelphia region.



Philadelphia Housing Authority
Building Beyond Expectations

The Company hereby agrees to provide, upon request, additional documents verifying the information provided above.



Under penalty of perjury, I certify that I am the _____ (Title) of the Company, that I am authorized by the Company to execute this affidavit on the Company's behalf, that I have personal knowledge of the certifications made in this affidavit and that the same are true.

(Corporate Seal)

Signature

Name

Commonwealth of Pennsylvania

County of _____

Subscribed and sworn to before me this _____ day of _____, _____

Notary Public

My Commission expires: _____

F



**SECTION 3 BUSINESS CONCERN AFFIDAVIT
FORM – 9B**

I, _____, the Developer/Contractor or the authorized representative of the Developer/Contractor, hereby attests that the Business identified below is a Section 3 Business Concern. I also attest that the proofs supplied and representations made for Section 3 status are accurate as required by Section 3 of the U.S. Housing and Urban Development Act of 1968, as amended and the regulations.

Name of Section Business

Contract No.

Dollar Amount of Contract

Contact Person

Phone Number

Reporting Period

Project Name

This Section 3 Business Concern is:

_____ Corporation

_____ Partnership

_____ Sole Proprietorship

_____ Joint Venture

Qualifying Business:

1. _____ 51% owned by Section 3 low income residents.
2. _____ 30% Section 3 low income residents dollar award.
3. _____ 25% of contract work committed to subcontract to Section 3 Business Concerns.

I do certify that the above information is correct.

Signature

Title



Philadelphia Housing Authority
Building Beyond Expectations

Acceptance / Approval By:

Senior Manager, Contract Compliance

Date

